



SPECIAL MEETING AGENDA

EAST KERN HEALTH CARE DISTRICT BOARD OF DIRECTORS

9300 N LOOP BLVD, CALIFORNIA CITY, CA 93505

Mission Statement: Building health, well-being, and resiliency.

July 19, 2022 5:00 pm (via Zoom only)

Participate in the teleconference by clicking on the link below:

<https://us02web.zoom.us/j/81899680464?pwd=SnpmamFENTR5MVE5K3hldm1RSG0yQT09>

Meeting ID: 818 9968 0464

Passcode: 236323

If you wish to access the meeting by telephone, please dial
1 669 900 6833 US (San Jose), enter the meeting ID, and then press # (pound).

Public comments may be made through teleconference when prompted by the Chair during the public comment period. Public comments may also be provided by emailing eastkernhealthcaredistrict@gmail.com in advance of or during the meeting.

Please indicate "PUBLIC COMMENTS" in the subject line.

If you have difficulty connecting to the teleconference line, please call (213) 640-9355
or email eastkernhealthcaredistrict@gmail.com

PLEDGE OF ALLEGIANCE / INVOCATION

CALL TO ORDER

ROLL CALL

ADOPT AGENDA

Motion _____ Seconded _____

Action _____

PUBLIC COMMENT

Members of the public are welcome to address the Board on any matter not on the Agenda and over which the Board has jurisdiction. If you wish to speak, please state your name for the record, and limit your comments to three (3) minutes.

PUBLIC PRESENTATIONS/COMMUNITY ANNOUNCEMENTS

CONSENT CALENDAR

CC1: Approve warrants - Debit card transactions and vendor checks

Pages 5 - 13

CC2: Approval of minutes from Regular Board Meeting 07/05/2022

Pages 5 - 6

Pages 7 - 11

CC3: Approval of employee contract-District Administrator, BJ Lindsay

Pages 12 - 13

APPROVAL OF CONSENT CALENDAR

Motion _____ Seconded _____

Action _____

CLOSED SESSION

CS1: TENANT LEASE NEGOTIATIONS

CONFERENCE WITH REAL ESTATE NEGOTIATOR (SECTION 54956.8)

Property: 9300 N Loop and 9350 N Loop

Negotiators for the District: Alex Lemieux, Counsel; and designated District negotiators

Other Negotiating Parties: West Point Physical Therapy; Adventist Health

Under Negotiation: Terms and Price

CONTINUING BUSINESS

CB1: UPDATE - N LOOP PROPERTIES

Motion _____ Seconded _____

Action _____

CB2: UPDATE - BAY AVE PROPERTY

Pages 14 - 51

Motion _____ Seconded _____

Action _____

CB3: PSA - PROJECT MANAGEMENT: JOSELITO LACSOM, DESIGNER

Pages 52 - 54

Motion _____ Seconded _____

Action _____

CB4: ELECTION CANDIDATE REGISTRATION

Open 7/18/2022 - 8/12/2022

Motion _____ Seconded _____

Action _____

NEW BUSINESS

NB1

(a): APPROVAL OF ADVERTISING BUDGET FOR MOJAVE DESERT NEWS

Motion _____ Seconded _____

Action _____

(b): PROFESSIONAL SERVICES AGREEMENT FOR WRITER FOR MOJAVE DESERT NEWS ARTICLES

Motion _____ Seconded _____

Action _____

DISTRICT UPDATES

PRESIDENT’S COMMENTS

Chair K. Macedonio

Page 55

AD-HOC COMMITTEE REPORTS

- 1) OFFICE AND MEETING SPACE PLANNING COMMITTEE**
- 2) COMMUNITY COLLABORATION FUNDING COMMITTEE**

STAFF UPDATES

BJ Lindsay - District Administrator

Nicole Schenk - Tech Support

FACILITIES REPORT

Director R. Macedonio

FUTURE AGENDA ITEMS

DIRECTOR COMMENTS, AB 1234

ADJOURNMENT

Motion _____ **Seconded** _____

Action _____

Next Regular Meeting: 08/02/22

8101 Bay Ave. California City, CA (HYBRID)

“Pursuant to Government code section 54954.2(a), any request for a disability-related modifications or accommodation, including auxiliary aids or services, that is sought in order to participate in this agendized public meeting should be directed to the District’s office at (760) 373 - 2804 at least 48 hours prior to said meeting.”

Date Agenda posted:

Agenda posted by:

DATE: July 19, 2022

VENDOR PAYMENT LIST

VENDOR	MEMO LINE	AMOUNT
Aleshire & Wynder, LLP		
Barragon Construction Services		
City of California City - Water		
California Special Districts Association		
Classic Lock & Key	7/11/2022, 9300 N Loop replace Front Door lever	\$189.78
Digitech	July 2022, 14689	\$42.99
Frontier	6/28/2022, 760-373-2804	\$173.77
Mobile Modular		
Mojave Desert News	6/16/2022, 55696 Health Care Issue	\$82.50
Nigro and Nigro		
Olivarez Madruga Lemieux O'Neill		
Reliable Air Conditioning & Heating		
SDRMA - Workers' Comp		
SDRMA - Property/Liability		
Schenk, Nicole	007, June 2022	\$1140.00
Sharper Landscaping	7/1/2022, July	\$340.00
Senior Citizen's Association of California City		
Southern California Edison	8000222683, 9300 N Loop \$1320.72 8001112753, 8100 Aspen Mall \$280.28	\$1760.56

	8001112989, 8100 Aspen Mall #B \$159.56	
Southern California Gas Co		
Thugs to Bugs		
T Winn Maintenance		
The Moments Captured, LLC		
Waste Management		
Witts Office Furniture		
		7 CHECKS, \$ 3729.60 TOTAL
DEBIT CARD		
Ace Hardware	Tri Flow Lock Lubricant	\$11.57
Amazon	7/17/2022, 112-6609720-7219454 10 Tier Wall Organizer	\$60.05
Costco	7/7/2022, White board and 24# copy paper	\$44.07
USPS	Certified Mail, Election documents, San Bernardino and Kern Counties, 100 Forever Stamps	\$71.80
AUTOMATIC DEBITS		
Google G Suite/Gmail		
T Mobile		
Zoom		
		DEBIT TOTAL \$147.49



SUMMARY OF PROCEEDINGS
BOARD OF DIRECTORS - EAST KERN HEALTH CARE DISTRICT
9300 N LOOP BLVD, CALIFORNIA CITY, CA 93505

REGULAR MEETING MINUTES

July 05, 2022 5:00pm

"Building health, well-being, and resiliency."

Agenda Posted on 07/18/22 by Karen Macedonio
8101 Bay Ave: July 2, 10:00 AM
9300 N Loop Blvd: July 2, 12:30 PM
EKHCD.org: July 1, 5:01 PM

1. **PLEDGE OF ALLEGIANCE**
2. **INVOCATION (INVOCATION NOT GIVEN)**
3. **CALL TO ORDER: 5:02 PM**
4. **ROLL CALL**

DIRECTORS PRESENT:

Director R. Macedonio, Director L. Peralta, Chair K Macedonio, Director L. Patrick

DIRECTORS ABSENT:

Director R. Foley

STAFF PRESENT:

Alex Lemieux - District Council
Nicole Schenk - Technical Support

STAFF ABSENT:

BJ Lindsay - Administrator

CONSULTANT:

Eva Hebebrand, MBA

PUBLIC PRESENT:

None

5. APPROVAL OF AGENDA (00:03:27 - 00:05:46)

Several changes were proposed by K. Macedonio: Remove item 7 Public Presentation, Finance Report will be moved into Consent Calendar as item CC6, stated Pages 17-18 are duplicates of 47-48, stated NB1 ends on page 43 rather than 42, NB2 starting on page 44 rather than 43.

Motion to approve the Agenda (00:05:47)

4 - 0, 1 Absent

R. Macedonio - L. Patrick

4 Ayes: Director R. Macedonio, Director L. Patrick , Director L. Peralta, Chair K. Macedonio

1 Absent: Director R. Foley

6. PUBLIC COMMENT

None

7. PUBLIC PRESENTATION (ITEM PULLED)

CC: CONSENT CALENDAR (00:06:17 - 00:18:58)

**CC1: APPROVE WARRANTS (00:06:18 - 00:09:39)
VENDOR CHECKS AND DEBIT CARD TRANSACTIONS**

CC2: APPROVAL OF MINUTES FROM REGULAR BOARD MEETING 06/07/22 (00:09:40 - 00:10:35)

CC3: APPROVAL OF MINUTES FROM SPECIAL BOARD MEETING 06/21/2022

CC4: CONTINUING RESOLUTION NO. 2022 - 0705 (00:10:36 - 00:11:00)

K. Macedonio remarked that this resolution needs to be changed to 2022 - 0705.1, since there is a second resolution in the packet (elections).

**CC5: APPROVAL OF EMPLOYEE CONTRACT-DISTRICT ADMINISTRATOR,
BJ LINDSAY (00:11:05 - 00:11:53)**

K. Macedonio remarked that item will be moved to another meeting due to the employee being not present at meeting. K. Macedonio asked A. Lemieux if an employee contract can be approved at a special meeting, and he said he would verify.

CC6: FINANCIAL REPORTS (00:11:57 - 00:18:58)

Eva Hebebrand commented on annual vs. bi-annual audits, fiscal year reports, data entry, year-end reconciliation, state controller's report. K. Macedonio gave comments re: the rent report.

Motion to approve Consent Calendar (00:18:30)

4 -0, 1 Absent

R. Macedonio - L. Patrick

4 Ayes: Director R. Macedonio, Director L. Patrick , Director L. Peralta, Chair K. Macedonio

1 Absent: Director R. Foley

CONTINUING BUSINESS (00:19:17 - 00:20:49)

CB1: 9300 N LOOP RESTORATION / REMODEL / DESIGN (00:19:17 - 00:20:49)

K. Macedonio remarked that Joselito was working on design work, and that we need help with build to suit improvements as it applies to lease negotiations.

CB2: FIRE MITIGATION - 8051 - 8101 BAY AVE (00:20:50 - 00:

K. Macedonio made comments re: ATI and Burns Environmental and the differences between the scope of work between the two contracts.

K. Macedonio asked A. Lemieux if there would be any issues with rescinding a past Board decision in regards to the Burns Environmental contract that was already approved, and gave details re: the insurance company's processes, and the details of the scope of work between the two contracts. A. Lemieux remarked that the Board should agendaize this item for an upcoming meeting.

Motion to approve contract for ATI restoration contract for \$83,882.32 (00:34:51)

4 - 0, 1 Absent

R. Macedonio - L. Patrick

4 Ayes: Director R. Macedonio, Director L. Patrick , Director L. Peralta, Chair K. Macedonio

1 Absent: Director R. Foley

NEW BUSINESS

NB1: RESOLUTIONS - ELECTION (00:35:20 - 00:50:33)

Motion to adopt resolution 2022 - 0705.2 (0049:51)

4 - 0, 1 Absent

R. Macedonio - L. Peralta

4 Ayes: Director R. Macedonio, Director L. Patrick , Director L. Peralta, Chair K. Macedonio

1 Absent: Director R. Foley

NB2: 9350 N LOOP - EXTERIOR SHADED AREA (00:50:34 - 01:00:49)

Motion to approve the professional services agreement with Joselito Lacson, designer, for Task 1 - Architectural plans for covered porch only at 9350 N. Loop, in the total amount of \$3,200.00 (00:59:16)

4 - 0, 1 Absent

R. Macedonio - L. Peralta

4 Ayes: Director R. Macedonio, Director L. Patrick , Director L. Peralta, Chair K. Macedonio

1 Absent: Director R. Foley

NB3: PROFESSIONAL SERVICES AGREEMENT FOR PROJECT MANAGEMENT - JOSELITO LACSON, DESIGNER (TASK 2 FROM PAGE 45 OF PACKET) (01:00:51 - 01:12:35)

Motion to approve Task 2 at \$125.00 per hour, not to exceed 10 hours, for project management on the reconstruction portion of 9300 N Loop, knowing that the Board may need to revisit this discussion in the future (01:12:01)

4 - 0, 1 Absent

R. Macedonio - L. Peralta

4 Ayes: Director R. Macedonio, Director L. Patrick , Director L. Peralta, Chair K. Macedonio

1 Absent: Director R. Foley

CLOSED SESSION (01:12:40)

CS1 - TENANT LEASE NEGOTIATIONS

Approximately 35 minutes - not included in recording

OPEN SESSION (2:03:10)

Report from closed session (02:03:11 - 02:04:10)

A. Lemieux remarked that the Board did not take action on this item

DISTRICT UPDATES

PRESIDENT'S COMMENTS - Chair K. Macedonio (02:04:15 - 02:15:13)

Chair K. Macedonio, as President, created three Ad-Hoc Committees:

1. Committee for Office and Meeting Space Planning

This Committee consists of Directors L. Patrick and R. Macedonio

2. Committee for Community Collaboration Funding

This Committee consists of Directors K. Macedonio and R. Macedonio

3. Committee for Emergency Services

This Committee consists of Directors K. Macedonio and R.Foley

STAFF UPDATES

BJ Lindsay - District Administrator (Absent)

Nicole Schenk - Tech Support (No update)

FACILITIES REPORT - Director R. Macedonio (02:17:16 - 02:20:00)

Director R. Macedonio Gave comments re: Landscaping at Bay Ave

(02:20:22- 02:21:14) K. Macedonio remarked about a future proposal for a sidewalk at the 9300 N Loop property

CALL FOR FUTURE AGENDA ITEMS (02:21:16 -

Director R. Foley: (Absent)

Director R. Macedonio: (None)

Director L. Patrick: (None)

Director L. Peralta:

Item: She spoke with Mike, an IT specialist, to help with issues at the new office.

Item: She spoke to someone re: the X-Ray equipment on their property and getting help with dealing with it, possible getting it sold through a third party.

Item: She spoke to Pat Borden at the Historical Society-re:the 10 different areas of land the city had to build parks, and the issue is being researched.

Item: How much the directors want to pay for Mojave Desert News articles. She remarked that she will bring a proposal for \$150.00 per article.

Director K. Macedonio:

Bi-Annual Audit decision (Board needs to decide, Alex will update with information).

Burns Environmental contract review and/or to rescind Board approval for it (Alex will give input).

AB 1234: DIRECTOR COMMENTS (02:30:06 - 02:30:27)

Director R. Foley (Absent)

Director R. Macedonio (None)

Director L. Patrick (None)

Director L. Peralta - (None)

Chair K. Macedonio (None)

ADJOURNMENT

Motion to adjourn (02:30:32)

R. Macedonio - L. Peralta

4 - 0, 1 Absent

4 Ayes: Director R. Macedonio, Director L. Patrick , Director L. Peralta, Chair K. Macedonio

1 Absent: Director R. Foley

Meeting Adjourned at 7:33

Minutes adopted on _____/_____/_____

Secretary's Signature _____

President's Signature _____

EMPLOYMENT AGREEMENT

As of [REDACTED], 2022, **East Kern Health Care District**, hereinafter "District," and [REDACTED], hereinafter "Part-Time Employee," agree as follows:

1. Purpose and Scope.

This Agreement establishes the terms of employment for the District to employ [REDACTED] to serve as Office Assistant. Part-Time Employee desires to accept employment as set forth herein.

2. Duties of the Office Assistant.

Employee shall work part-time as Office Assistant of the District to exercise the powers and perform the duties specified in the Local Health Care District Law and East Kern Health Care District Administrative Code. The Part-Time Employee may engage in other activities not conflicting with the full performance of the duties of Office Assistant.

Duties will include, but may not be limited to:

- Check the mail, and process for payments for accounts payable.
- Check phone messages and follow up in a timely manner.
- Accept payments from tenants and properly deposit those payments, and properly log those payments.
- Process Agenda's and Board Packets and establish Zoom meetings, as needed.
- Handle tenant concerns.

3. Term.

This Agreement commences on the date first above written and continues until terminated by either party.

4. Salary

- (a) District shall pay Part-Time Employee according to the following schedule:
\$23.00 per hour.
- (b) Employee is expected to work 10-15 hours per week.

5. Termination.

(a) This Agreement for Employment is made at-will. Part-Time Employee may terminate or be terminated from employment with or without cause with 14 days' prior written notice. Part-Time Employee may respond to the notice of termination.

(b) Part-Time Employee shall provide the District with at least 14 ("Fourteen") days' prior written notice of Part-Time Employee's resignation or inability to continue to perform the duties of the Office Assistant. If Part-Time Employee is unable to perform the duties of Assistant Manager due to permanent disability, Employee shall provide as much advance notice as feasible.

6. Other Terms and Conditions.

District may, from time-to-time, establish additional terms and conditions of employment, provided such terms and conditions are consistent with the provisions of this Agreement and any applicable law.

7. Notices.

Any notices required by this Agreement shall be sent by first class U. S. mail with postage prepaid to the parties as follows:

To District:
East Kern Health Care District
PO Box 2546
California City, CA 93504

To Part-Time Employee:

_____, CA _____

8. Entire Agreement.

This Agreement contains the entire agreement of the parties. No promise, representation, warranty, or covenant not included in this Agreement has been or may be relied upon by any party.

APPROVED:
East Kern Health Care District

APPROVED:

By: _____
Karen Macedonio, President
Board of Directors

By: _____
_____, Office Assistant

ATTEST:

By: _____
Richard Macedonio, Secretary

(Seal)

APPROVED AS TO FORM:

By: _____
Alex Lemieux, District Counsel

2022-096EKHCD1

General

DESCRIPTION	QTY
<p>1. Hydroxyl generator - odor counteractant - 2 optics</p> <p>Includes: Equipment cost for a hydroxyl generator. Based on 24 hours of "run time" on the job-site. Excludes: Set-up, take down, and monitoring. Use WTREQ for set-up, take down, and/or monitoring, if needed. Quality: Double optic hydroxyl generator with built-in blower fan. Hydroxyl generator is safety rated for use in occupied spaces. May be rated to process bacteria and viruses. Up to 1000 CFM. Note: Pricing information for this type of technology could be based on a limited amount of feedback and available market data. Estimators are encouraged to modify the unit price to appropriately match local market costs if needed. No life expectancy data</p>	50.00 DA
<p>2. Dumpster load - Approx. 30 yards, 5-7 tons of debris</p> <p>One dumpster change a week for 3 months job duration.</p>	7.50 EA
<p>3. Crane and operator - 30 ton capacity</p> <p>Includes: Crane and operator. Quality: 30 ton capacity. Note: It is usual and customary to include travel time to and from the job-site when calculating the hours. No life expectancy data</p>	72.00 HR
<p>4. Rental equipment delivery / mobilization (Bid item)</p> <p>Includes: Rental equipment delivery charge; bid item. Note: For use only when delivery charges are not accounted for by additional hourly rental charges. No life expectancy data</p>	6.00 EA
<p>5. Telehandler/forklift (per month) - no operator</p> <p>Telehandler for the 3 month duration to shuffle materials around the job site and provide job materials to the structure.</p> <p>Includes: Telehandler lift. Excludes: Operator. Note: Monthly charge for equipment. No life expectancy data</p>	3.00 MO
<p>6. Architectural/Drafting fees (Bid Item) [OPEN ITEM]</p>	1.00 EA
<p>7. Taxes, insurance, permits & fees (Bid Item) [AS INCURRED]</p>	1.00 EA
<p>8. Add for HEPA filter (for negative air exhaust fan)</p> <p>Includes: HEPA filter and installation labor. Quality: 99.97% @ .3 micron size, activated carbon. Note: To be used with HMR NAFAN and HMR NAFAN>, if required. The labor type used in this item is a hazardous materials remediation technician, who typically performs work relating to hazardous materials, which may include asbestos, lead, mold, etc. No life expectancy data</p>	1.00 EA
<p>9. General Laborer - per hour</p> <p>Job is set to 3 months duration.</p>	504.00 HR
<p>10. Commercial Supervision / Project Management - per hour</p> <p>Note: This is for a Superintendent/Project Manager used to manage commercial jobs where Supervision/Project Management is needed to coordinate the work of sub-contractors, or to perform other project management duties. This item is not intended to be used for a working crew leader. Full-time Supervision/Project Management may be typical on larger commercial projects where the number of sub-contractors and trades justifies the need. Smaller jobs may warrant project management charges on an as-needed basis. For each specific scenario, the General Contractor, estimator and/or parties involved will need to determine whether or not a Superintendent/Project Manager is warranted, as well as the number of hours attributed to Supervision/Project Management. A Superintendent/Project Manager may complete tasks such as, but not limited to, creating/maintaining project schedules, coordinating/meeting trades, ordering materials, inspecting job sites, obtaining permits, meeting with inspectors, etc.</p> <p>*Commercial supervision to supervise all trades and subs, manage permits and fees associated along with all communication</p>	1,000.00 HR

CONTINUED - General

DESCRIPTION	QTY
to the client and associated parties.	
11. Scaffolding (Bid Item)	1.00 EA
12. Caution tape	500.00 LF
Caution tape and labor.	
No life expectancy data	
13. Temporary fencing	363.75 LF
Temporary fence quote is for a period of 6 months of rental. Rental that extends beyond the 6 months will be charged at the monthly rate.	
14. Power distribution box (per week)	8.00 WK
Includes: Weekly equipment cost for a generator panel box.	
Quality: Elevated power distribution center with 5 or more GFCI protected 120 volt, 20 amp outlets, and one or more 250 volt 30+ amp outlets (below 100 amp). Meets OSHA standards for temporary power connections on a job-site.	
Note: To be used in conjunction with a temporary power generator.	
No life expectancy data	
15. Temporary protection of entry/exit and roof penetrations during construction due to inclement weather	1.00 EA
16. Temporary construction office - portable (trailer)	3.00 MO
Monthly rental charge for 10' x 24' portable office trailer, with steps.	
Excludes: Temporary heat and power hookups.	
No life expectancy data	
17. Padlock and hasp	2.00 EA
Padlock, chain/hasp, and labor to install.	
No life expectancy data	
18. R&R Temporary power - hookup	1.00 EA
Monthly charge for temporary commercial power usage.	
Note: This item is based on a monthly state average for commercial power usage. Cost for power usage can vary depending on several factors such as amount of power used, location, municipality, etc. Verisk recommends estimators verify costs with local providers and modify their estimate when warranted.	
No life expectancy data	
19. Warning sign, 4' x 4' on a 6' post (per day)	90.00 DA
Rental charge for a warning sign.	
Note: Priced on a per day basis. Use TMPBWSU for set up and take down.	
No life expectancy data	
20. Temporary water - usage - per month - Commercial	3.00 MO
Average monthly charge for temporary water usage.	
Note: This item to be used for commercial projects only.	
21. Temporary water - hookup fee - Commercial	1.00 EA
22. Travel/Per Diem due to non-availability to contract local qualified contractor and will require outside contractor	352.00 EA
Lodging and Per Diem for qualified contractor response. Local contracting pool not readily available.	
23. Add for HEPA filter (for negative air exhaust fan)	7.00 EA
Includes: HEPA filter and installation labor.	
Quality: 99.97% @ .3 micron size, activated carbon.	
Note: To be used with WTR NAFAN and WTR NAFAN>, if required.	
No life expectancy data	
24. Neg. air fan/Air scrub.-Large (per 24 hr period)-No monit.	70.00 DA
Includes: Equipment for 24 hour "run time," 1st stage filter, 2nd stage filter (if applicable), 10"/12" flex exhaust hose attachment.	
Excludes: HEPA filter (WTR FHEPA), and set up, take down, monitoring (see WTR EQ).	



CONTINUED - General

DESCRIPTION	QTY
Quality: 700-1399 CFM, 99.97% efficiency. Note: Some equipment models may have a 2nd stage filter separate from the HEPA or carbon vapor filter. This type of 2nd stage filter is included in the equipment cost of the line item. No life expectancy data	
25. Temporary toilet (per month) Rental charge for a temporary on-site toilet. Note: Priced per month, including delivery and pick-up.	3.00 MO
26. Temporary Wash Station Sanitization for workers at site/	3.00 EA

SKETCH1

1st Floor

Fire Damage Room

Height: 8' 9"

Subroom: Fire Damage Room (1)

Height: 8' 9"

DESCRIPTION	QTY
27. 2" x 6" x 10' #2 treated pine (material only)	10.00 EA
28. R&R Labor to frame 2" x 6" x 10' load bearing wall - 16" oc	112.74 LF
29. 2" x 4" x 10' #2 treated pine (material only)	15.00 EA
30. R&R Labor to frame 2" x 4" x 10' load bearing wall - 16" oc	112.74 LF
31. 5/8" drywall - hung, taped, heavy texture, ready for paint	923.19 SF
32. 5/8" - drywall per LF - up to 2' tall	23.30 LF
33. Drywall - General Laborer - per hour	4.00 HR
note drywall labor to blend in existing drywall	
34. Paint door slab only - 2 coats (per side)	2.00 EA
35. Seal & paint casing - two coats	20.00 LF
36. Acoustic ceiling tile	406.89 SF
37. R&R Suspended ceiling grid - 2' x 4'	406.89 SF
38. Acoustical Treatments - General Laborer - per hour	2.00 HR
note additional labor time to remove and reset new ceiling tile grid	
39. R&R Fluorescent light fixture - Standard grade	2.00 EA
40. R&R Fluorescent - two tube - 4' - fixture w/lens	6.00 EA
41. R&R Outlet or switch cover	5.00 EA
42. Cove base molding - rubber or vinyl, 4" high	106.74 LF
43. Remove Glue down carpet	406.89 SF
44. Glue down carpet	467.92 SF
15 % waste added for Glue down carpet.	
45. Final cleaning - construction - Commercial	406.89 SF

CONTINUED - Fire Damage Room

DESCRIPTION	QTY
46. Seal/paint interior - per SF of floor - 1 tone- New Const.	406.89 SF
47. Deodorize building - Ozone & hydroxyl treatment	3,560.29 CF

Bathroom 5

Height: 8' 9"

DESCRIPTION	QTY
48. Final cleaning - construction - Commercial	37.19 SF
49. Seal/prime then paint the walls and ceiling twice (3 coats)	253.02 SF
50. Deodorize building - Ozone & hydroxyl treatment	325.39 CF

No Exit

Height: 8' 9"

DESCRIPTION	QTY
51. 5/8" - drywall per LF - up to 2' tall	25.50 LF
52. Drywall - General Laborer - per hour	1.00 HR
note drywall labor to blend in existing drywall	
53. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	263.26 SF
54. Paint door slab only - 2 coats (per side)	4.00 EA
55. Seal & paint casing - two coats	20.00 LF
56. Cove base molding - rubber or vinyl, 4" high	25.50 LF
57. Remove Glue down carpet	40.14 SF
58. Glue down carpet	46.16 SF
15 % waste added for Glue down carpet.	
59. Final cleaning - construction - Commercial	40.14 SF
60. Deodorize building - Ozone & hydroxyl treatment	351.22 CF

Rear Exit

Height: 8' 9"

Subroom: Rear Exit (1)

Height: 8' 9"

DESCRIPTION	QTY
61. 5/8" drywall - hung, taped, heavy texture, ready for paint	198.00 SF
62. 5/8" - drywall per LF - up to 2' tall	17.00 LF
63. Drywall - General Laborer - per hour	4.00 HR
note drywall labor to blend in existing drywall	
64. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	1,899.35 SF
65. Paint door slab only - 2 coats (per side)	2.00 EA
66. Seal & paint casing - two coats	20.00 LF
67. Acoustic ceiling tile	608.01 SF

CONTINUED - Rear Exit

DESCRIPTION	QTY
68. R&R Suspended ceiling grid - 2' x 4'	608.01 SF
69. Acoustical Treatments - General Laborer - per hour	2.00 HR
note additional labor time to remove and reset new ceiling tile grid	
70. R&R Fluorescent light fixture - Standard grade	2.00 EA
71. R&R Fluorescent - two tube - 4' - fixture w/lens	6.00 EA
72. R&R Outlet or switch cover	5.00 EA
73. Cove base molding - rubber or vinyl, 4" high	147.58 LF
74. Remove Glue down carpet	608.01 SF
75. Glue down carpet	699.21 SF
15 % waste added for Glue down carpet.	
76. Deodorize building - Ozone & hydroxyl treatment	5,320.05 CF
77. Final cleaning - construction - Commercial	608.01 SF

Bathroom 6

Height: 8' 9"

DESCRIPTION	QTY
78. Final cleaning - construction - Commercial	41.08 SF
79. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	262.56 SF
80. Deodorize building - Ozone & hydroxyl treatment	359.48 CF

Vault

Height: 8' 9"

DESCRIPTION	QTY
81. Final cleaning - construction - Commercial	113.11 SF
82. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	499.46 SF
83. Deodorize building - Ozone & hydroxyl treatment	989.75 CF

Void

Height: 8'

DESCRIPTION	QTY
84. Seal/prime then paint the walls and ceiling twice (3 coats) - 2 colors	31.07 SF
85. Cove base molding - rubber or vinyl, 4" high	3.85 LF
86. Remove Glue down carpet	0.30 SF
87. Glue down carpet	0.35 SF
15 % waste added for Glue down carpet.	
88. Final cleaning - construction - Commercial	0.30 SF
89. Deodorize building - Ozone & hydroxyl treatment	2.42 CF



Vault Room

Height: 8' 9"

DESCRIPTION	QTY
90. 5/8" - drywall per LF - up to 2' tall	2.00 LF
91. Drywall - General Laborer - per hour	1.00 HR
note drywall labor to blend in existing drywall	
92. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	378.87 SF
93. Paint door slab only - 2 coats (per side)	2.00 EA
94. Seal & paint casing - two coats	20.00 LF
95. Acoustic ceiling tile	72.51 SF
96. Cove base molding - rubber or vinyl, 4" high	35.01 LF
97. Remove Glue down carpet	72.51 SF
98. Glue down carpet	83.39 SF
15 % waste added for Glue down carpet.	
99. Final cleaning - construction - Commercial	72.51 SF
100. Deodorize building - Ozone & hydroxyl treatment	634.47 CF

Utility Room

Height: 8' 9"

DESCRIPTION	QTY
101. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	267.61 SF
102. Paint door slab only - 2 coats (per side)	2.00 EA
103. Seal & paint casing - two coats	20.00 LF
104. Acoustic ceiling tile	41.57 SF
105. Cove base molding - rubber or vinyl, 4" high	25.83 LF
106. Remove Glue down carpet	41.57 SF
107. Glue down carpet	47.80 SF
15 % waste added for Glue down carpet.	
108. Final cleaning - construction - Commercial	41.57 SF
109. Deodorize building - Ozone & hydroxyl treatment	363.73 CF

Hallway 3

Height: 8' 9"

DESCRIPTION	QTY
110. Seal/prime then paint the walls and ceiling twice (3 coats) - 2 colors	392.53 SF
111. Cove base molding - rubber or vinyl, 4" high	33.60 LF
112. Final cleaning - construction - Commercial	90.99 SF
113. Deodorize building - Ozone & hydroxyl treatment	796.14 CF

Women Bath

Height: 8' 9"

DESCRIPTION	QTY
114. Final cleaning - construction - Commercial	40.14 SF

CONTINUED - Women Bath

DESCRIPTION	QTY
115. Deodorize building - Ozone & hydroxyl treatment	351.22 CF
116. Seal/prime then paint part of the walls and ceiling twice (3 coats) - 2 colors	197.45 SF

Men Bath

Height: 8' 9"

DESCRIPTION	QTY
117. Final cleaning - construction - Commercial	39.55 SF
118. Deodorize building - Ozone & hydroxyl treatment	346.05 CF
119. Seal/prime then paint part of the walls and ceiling twice (3 coats) - 2 colors	195.91 SF

Hallway 2

Height: 8' 9"

Subroom: Hallway 2 Closet (1)

Height: 8' 9"

Subroom: Hallway Closet (2)

Height: 8' 9"

DESCRIPTION	QTY
120. 5/8" - drywall per LF - up to 2' tall	239.66 LF
121. Drywall - General Laborer - per hour	5.00 HR
note drywall labor to blend in existing drywall	
122. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	2,622.62 SF
123. Paint door slab only - 2 coats (per side)	20.00 EA
124. Seal & paint casing - two coats	170.00 LF
125. Cove base molding - rubber or vinyl, 4" high	239.66 LF
126. Remove Glue down carpet	584.17 SF
127. Glue down carpet	671.80 SF
15 % waste added for Glue down carpet.	
128. Final cleaning - construction - Commercial	584.17 SF
129. Deodorize building - Ozone & hydroxyl treatment	5,234.88 CF

Room 4

Height: 10'

DESCRIPTION	QTY
130. 5/8" - drywall per LF - up to 2' tall	12.00 LF
131. Drywall - General Laborer - per hour	2.00 HR
note drywall labor to blend in existing drywall	
132. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	393.47 SF
133. Paint door slab only - 2 coats (per side)	2.00 EA
134. Seal & paint casing - two coats	20.00 LF
135. R&R Outlet or switch cover	5.00 EA

CONTINUED - Room 4

DESCRIPTION	QTY
136. Cove base molding - rubber or vinyl, 4" high	34.00 LF
137. Remove Glue down carpet	53.47 SF
138. Glue down carpet	61.49 SF
15 % waste added for Glue down carpet.	
139. Final cleaning - construction - Commercial	53.47 SF
140. Deodorize building - Ozone & hydroxyl treatment	534.72 CF

Telcom Room

Height: 8' 9"

DESCRIPTION	QTY
141. Deodorize building - Ozone & hydroxyl treatment	359.64 CF
142. Final cleaning - construction - Commercial	41.10 SF
143. Glue down carpet	47.27 SF
15 % waste added for Glue down carpet.	
144. Remove Glue down carpet	41.10 SF
145. Cove base molding - rubber or vinyl, 4" high	25.16 LF
146. Seal/prime then paint the walls and ceiling twice (3 coats) - 2 colors	261.24 SF

Room70

Height: 10'

DESCRIPTION	QTY
147. 5/8" - drywall per LF - up to 2' tall	60.00 LF
148. Drywall - General Laborer - per hour	3.00 HR
note drywall labor to blend in existing drywall	
149. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	1,772.63 SF
150. Paint door slab only - 2 coats (per side)	2.00 EA
151. Seal & paint casing - two coats	20.00 LF
152. R&R Outlet or switch cover	5.00 EA
153. Cove base molding - rubber or vinyl, 4" high	109.01 LF
154. Remove Glue down carpet	682.56 SF
155. Glue down carpet	784.95 SF
15 % waste added for Glue down carpet.	
156. Final cleaning - construction - Commercial	682.56 SF
157. Deodorize building - Ozone & hydroxyl treatment	6,825.63 CF

Hallway 4

Height: 8' 9"

DESCRIPTION	QTY
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CONTINUED - Hallway 4

DESCRIPTION	QTY
158. Cove base molding - rubber or vinyl, 4" high	46.03 LF
159. Final cleaning - construction - Commercial	101.15 SF
160. Deodorize building - Ozone & hydroxyl treatment	885.10 CF
161. Seal/prime then paint the walls and ceiling twice (3 coats) - 2 colors	503.88 SF

Room 3

Height: 8' 9"

DESCRIPTION	QTY
162. Acoustic ceiling tile	32.00 SF
163. 5/8" - drywall per LF - up to 2' tall	15.00 LF
164. Drywall - General Laborer - per hour	1.00 HR
note drywall labor to blend in existing drywall	
165. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	747.00 SF
166. Paint door slab only - 2 coats (per side)	2.00 EA
167. Seal & paint casing - two coats	20.00 LF
168. Cove base molding - rubber or vinyl, 4" high	59.83 LF
169. Remove Glue down carpet	223.46 SF
170. Glue down carpet	256.98 SF
15 % waste added for Glue down carpet.	
171. Final cleaning - construction - Commercial	223.46 SF
172. Deodorize building - Ozone & hydroxyl treatment	1,955.26 CF

Room 2

Height: 8' 9"

DESCRIPTION	QTY
173. Acoustic ceiling tile	16.00 SF
174. 5/8" - drywall per LF - up to 2' tall	15.00 LF
175. Drywall - General Laborer - per hour	1.00 HR
note drywall labor to blend in existing drywall	
176. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	757.64 SF
177. Paint door slab only - 2 coats (per side)	2.00 EA
178. Seal & paint casing - two coats	20.00 LF
179. Cove base molding - rubber or vinyl, 4" high	60.50 LF
180. Remove Glue down carpet	228.26 SF
181. Glue down carpet	262.50 SF
15 % waste added for Glue down carpet.	
182. Final cleaning - construction - Commercial	228.26 SF
183. Deodorize building - Ozone & hydroxyl treatment	1,997.31 CF

includes: Ozone and hydroxyl generator, and labor.

Note: Deodorize an area using a multi-phase oxidizing agent (i.e. ozone, hydroxyl radicals, H2O2, etc.) generator. Humans, animals,

CONTINUED - Room 2

DESCRIPTION	QTY
or pets cannot be present while machine is running. Item is based on residential applications. No life expectancy data	

Room 1	Height: 8' 9"
DESCRIPTION	QTY
184. Acoustic ceiling tile	72.00 SF
185. 5/8" - drywall per LF - up to 2' tall	32.00 LF
186. Drywall - General Laborer - per hour	2.00 HR
note drywall labor to blend in existing drywall	
187. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	742.74 SF
188. Paint door slab only - 2 coats (per side)	2.00 EA
189. Seal & paint casing - two coats	20.00 LF
190. Cove base molding - rubber or vinyl, 4" high	59.01 LF
191. Remove Glue down carpet	226.39 SF
192. Glue down carpet	260.35 SF
15 % waste added for Glue down carpet.	
193. Final cleaning - construction - Commercial	226.39 SF
194. Deodorize building - Ozone & hydroxyl treatment	1,980.95 CF

Electrical Room	Height: 8' 9"
DESCRIPTION	QTY
195. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	107.81 SF
196. Paint door slab only - 2 coats (per side)	2.00 EA
197. Seal & paint casing - two coats	20.00 LF
198. Cove base molding - rubber or vinyl, 4" high	11.50 LF
199. Remove Glue down carpet	7.18 SF
200. Glue down carpet	8.26 SF
15 % waste added for Glue down carpet.	
201. Final cleaning - construction - Commercial	7.18 SF
202. Deodorize building - Ozone & hydroxyl treatment	62.83 CF

Electrical Room	Height: 10' 2"
DESCRIPTION	QTY
203. 5/8" - drywall per LF - up to 2' tall	3.00 LF
204. Drywall - General Laborer - per hour	1.00 HR



CONTINUED - Electrical Room

DESCRIPTION	QTY
note drywall labor to blend in existing drywall	
205. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	104.93 SF
206. Paint door slab only - 2 coats (per side)	2.00 EA
207. Seal & paint casing - two coats	20.00 LF
208. Cove base molding - rubber or vinyl, 4" high	9.83 LF
209. Remove Glue down carpet	4.96 SF
210. Glue down carpet	5.70 SF
15 % waste added for Glue down carpet.	
211. Final cleaning - construction - Commercial	4.96 SF
212. Deodorize building - Ozone & hydroxyl treatment	50.41 CF

Room 5

Height: 8' 9"

DESCRIPTION	QTY
213. Acoustic ceiling tile	40.00 SF
214. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	707.10 SF
215. Paint door slab only - 2 coats (per side)	2.00 EA
216. Seal & paint casing - two coats	20.00 LF
217. Cove base molding - rubber or vinyl, 4" high	57.33 LF
218. Remove Glue down carpet	205.44 SF
219. Glue down carpet	236.25 SF
15 % waste added for Glue down carpet.	
220. Final cleaning - construction - Commercial	205.44 SF
221. Deodorize building - Ozone & hydroxyl treatment	1,797.58 CF

Room 6

Height: 8' 9"

DESCRIPTION	QTY
222. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	707.10 SF
223. Paint door slab only - 2 coats (per side)	2.00 EA
224. Seal & paint casing - two coats	20.00 LF
225. Cove base molding - rubber or vinyl, 4" high	57.33 LF
226. Remove Glue down carpet	205.44 SF
227. Glue down carpet	236.25 SF
15 % waste added for Glue down carpet.	
228. Final cleaning - construction - Commercial	205.44 SF
229. Deodorize building - Ozone & hydroxyl treatment	1,797.58 CF



Hallway 3

Height: 8' 9"

Subroom: Hallway 3 (1)

Height: 10' 6"

DESCRIPTION	QTY
230. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	896.65 SF
231. Paint door slab only - 2 coats (per side)	2.00 EA
232. Seal & paint casing - two coats	20.00 LF
233. Cove base molding - rubber or vinyl, 4" high	72.52 LF
234. Remove Glue down carpet	208.14 SF
235. Glue down carpet	239.36 SF
15 % waste added for Glue down carpet.	
236. Final cleaning - construction - Commercial	208.14 SF
237. Deodorize building - Ozone & hydroxyl treatment	1,968.69 CF

Hallway 3

Height: 8' 9"

DESCRIPTION	QTY
238. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	825.46 SF
239. Paint door slab only - 2 coats (per side)	2.00 EA
240. Seal & paint casing - two coats	20.00 LF
241. Cove base molding - rubber or vinyl, 4" high	74.98 LF
242. Remove Glue down carpet	169.38 SF
243. Glue down carpet	194.79 SF
15 % waste added for Glue down carpet.	
244. Final cleaning - construction - Commercial	169.38 SF
245. Deodorize building - Ozone & hydroxyl treatment	1,482.10 CF

Room 23

Height: 8' 9"

DESCRIPTION	QTY
246. 5/8" - drywall per LF - up to 2' tall	11.00 LF
247. Drywall - General Laborer - per hour	1.00 HR
note drywall labor to blend in existing drywall	
248. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	613.63 SF
249. Paint door slab only - 2 coats (per side)	2.00 EA
250. Seal & paint casing - two coats	20.00 LF
251. Cove base molding - rubber or vinyl, 4" high	50.89 LF
252. Remove Glue down carpet	168.37 SF
253. Glue down carpet	193.63 SF
15 % waste added for Glue down carpet.	
254. Final cleaning - construction - Commercial	168.37 SF
255. Deodorize building - Ozone & hydroxyl treatment	1,473.26 CF



Room 24

Height: 8' 9"

DESCRIPTION

QTY

256. Acoustic ceiling tile	32.00 SF
257. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	646.97 SF
258. Paint door slab only - 2 coats (per side)	2.00 EA
259. Seal & paint casing - two coats	20.00 LF
260. Cove base molding - rubber or vinyl, 4" high	53.50 LF
261. Remove Glue down carpet	178.85 SF
262. Glue down carpet	205.67 SF
15 % waste added for Glue down carpet.	
263. Final cleaning - construction - Commercial	178.85 SF
264. Deodorize building - Ozone & hydroxyl treatment	1,564.91 CF

Room 7

Height: 8' 9"

DESCRIPTION

QTY

265. Cove base molding - rubber or vinyl, 4" high	52.80 LF
266. Remove Glue down carpet	179.49 SF
267. Glue down carpet	206.42 SF
15 % waste added for Glue down carpet.	
268. Final cleaning - construction - Commercial	179.49 SF
269. Deodorize building - Ozone & hydroxyl treatment	1,570.55 CF
270. Seal/prime then paint the walls and ceiling twice (3 coats) - 2 colors	641.51 SF

Room 8

Height: 8' 9"

DESCRIPTION

QTY

271. Cove base molding - rubber or vinyl, 4" high	63.02 LF
272. Remove Glue down carpet	250.15 SF
273. Glue down carpet	287.68 SF
15 % waste added for Glue down carpet.	
274. Final cleaning - construction - Commercial	250.15 SF
275. Deodorize building - Ozone & hydroxyl treatment	2,188.83 CF
276. Seal/prime then paint the walls and ceiling twice (3 coats) - 2 colors	801.54 SF

Room 11

Height: 8' 9"

DESCRIPTION

QTY

277. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	807.57 SF
278. Paint door slab only - 2 coats (per side)	2.00 EA
279. Seal & paint casing - two coats	20.00 LF
280. Cove base molding - rubber or vinyl, 4" high	63.83 LF

CONTINUED - Room 11

DESCRIPTION	QTY
281. Remove Glue down carpet	249.03 SF
282. Glue down carpet	286.38 SF
15 % waste added for Glue down carpet.	
283. Final cleaning - construction - Commercial	249.03 SF
284. Deodorize building - Ozone & hydroxyl treatment	2,178.99 CF

Room 13

Height: 8' 9"

DESCRIPTION	QTY
285. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	789.62 SF
286. Paint door slab only - 2 coats (per side)	2.00 EA
287. Seal & paint casing - two coats	20.00 LF
288. Cove base molding - rubber or vinyl, 4" high	62.83 LF
289. Remove Glue down carpet	239.84 SF
290. Glue down carpet	275.82 SF
15 % waste added for Glue down carpet.	
291. Final cleaning - construction - Commercial	239.84 SF
292. Deodorize building - Ozone & hydroxyl treatment	2,098.63 CF

Room 27

Height: 8' 9"

DESCRIPTION	QTY
293. 5/8" - drywall per LF - up to 2' tall	18.00 LF
294. Drywall - General Laborer - per hour	2.00 HR
<u>note drywall labor to blend in existing drywall</u>	
295. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	560.76 SF
296. Paint door slab only - 2 coats (per side)	2.00 EA
297. Seal & paint casing - two coats	20.00 LF
298. Cove base molding - rubber or vinyl, 4" high	48.35 LF
299. Remove Glue down carpet	137.66 SF
300. Glue down carpet	158.31 SF
15 % waste added for Glue down carpet.	
301. Final cleaning - construction - Commercial	137.66 SF
302. Deodorize building - Ozone & hydroxyl treatment	1,204.52 CF

Room 26

Height: 8'

DESCRIPTION	QTY
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CONTINUED - Room 26

DESCRIPTION	QTY
303. 5/8" - drywall per LF - up to 2' tall	24.00 LF
304. Drywall - General Laborer - per hour	2.00 HR
note drywall labor to blend in existing drywall	
305. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	534.50 SF
306. Paint door slab only - 2 coats (per side)	2.00 EA
307. Seal & paint casing - two coats	20.00 LF
308. Cove base molding - rubber or vinyl, 4" high	49.00 LF
309. Remove Glue down carpet	142.50 SF
310. Glue down carpet	163.88 SF
15 % waste added for Glue down carpet.	
311. Final cleaning - construction - Commercial	142.50 SF

Room 25

Height: 8'

DESCRIPTION	QTY
312. 5/8" - drywall per LF - up to 2' tall	24.00 LF
313. Drywall - General Laborer - per hour	2.00 HR
note drywall labor to blend in existing drywall	
314. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	517.43 SF
315. Paint door slab only - 2 coats (per side)	2.00 EA
316. Seal & paint casing - two coats	20.00 LF
317. Cove base molding - rubber or vinyl, 4" high	47.34 LF
318. Remove Glue down carpet	138.69 SF
319. Glue down carpet	159.49 SF
15 % waste added for Glue down carpet.	
320. Final cleaning - construction - Commercial	138.69 SF

Room 18

Height: 8' 9"

Subroom: Room 18 (1)

Height: 8' 9"

Subroom: Room 18 (2)

Height: 8' 9"

Subroom: Room 18 (3)

Height: 8' 9"

DESCRIPTION	QTY
321. 5/8" - drywall per LF - up to 2' tall	11.00 LF
322. Drywall - General Laborer - per hour	2.00 HR
note drywall labor to blend in existing drywall	
323. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	1,340.65 SF
324. Paint door slab only - 2 coats (per side)	4.00 EA
325. Seal & paint casing - two coats	40.00 LF
326. Cove base molding - rubber or vinyl, 4" high	121.88 LF

CONTINUED - Room 18

DESCRIPTION	QTY
327. Remove Glue down carpet	274.24 SF
328. Glue down carpet	315.37 SF
15 % waste added for Glue down carpet.	
329. Final cleaning - construction - Commercial	274.24 SF

Room 17

Height: 8' 9"

DESCRIPTION	QTY
330. 5/8" - drywall per LF - up to 2' tall	10.00 LF
331. Drywall - General Laborer - per hour	2.00 HR
<u>note drywall labor to blend in existing drywall</u>	
332. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	558.36 SF
333. Paint door slab only - 2 coats (per side)	2.00 EA
334. Seal & paint casing - two coats	20.00 LF
335. Cove base molding - rubber or vinyl, 4" high	47.74 LF
336. Remove Glue down carpet	140.64 SF
337. Glue down carpet	161.73 SF
15 % waste added for Glue down carpet.	
338. Final cleaning - construction - Commercial	140.64 SF

Room 20

Height: 8' 9"

Subroom: Room 20 (1)

Height: 8' 9"

DESCRIPTION	QTY
339. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	680.53 SF
340. Paint door slab only - 2 coats (per side)	2.00 EA
341. Seal & paint casing - two coats	20.00 LF
342. Cove base molding - rubber or vinyl, 4" high	60.67 LF
343. Remove Glue down carpet	131.30 SF
344. Glue down carpet	150.99 SF
15 % waste added for Glue down carpet.	
345. Final cleaning - construction - Commercial	131.30 SF

Girls Room

Height: 8' 9"

Subroom: Girls Room (1)

Height: 8' 9"

Subroom: Cubicle (2)

Height: 8' 9"

Subroom: Cubicle (3)

Height: 8' 9"



Subroom: Cubicle (4)

Height: 8' 9"

DESCRIPTION

QTY

346. Acoustic ceiling tile	2.00 SF
347. 5/8" - drywall per LF - up to 2' tall	20.00 LF
348. Drywall - General Laborer - per hour	2.00 HR
note drywall labor to blend in existing drywall	
349. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	1,163.24 SF
350. Paint door slab only - 2 coats (per side)	2.00 EA
351. Seal & paint casing - two coats	20.00 LF
352. Cove base molding - rubber or vinyl, 4" high	113.83 LF
353. Remove Glue down carpet	166.97 SF
354. Glue down carpet	192.02 SF
15 % waste added for Glue down carpet.	
355. Final cleaning - construction - Commercial	166.97 SF

Boys Room

Height: 8' 9"

Subroom: Boys Room (1)

Height: 8' 9"

Subroom: Cubicle (2)

Height: 8' 9"

Subroom: Cubicle (3)

Height: 8' 9"

DESCRIPTION

QTY

356. Final cleaning - construction - Commercial	104.10 SF
357. Seal/prime then paint the walls and ceiling twice (3 coats) - 2 colors	745.42 SF

Hallway

Height: 8' 9"

DESCRIPTION

QTY

358. Cove base molding - rubber or vinyl, 4" high	150.49 LF
359. Remove Glue down carpet	400.05 SF
360. Glue down carpet	460.06 SF
15 % waste added for Glue down carpet.	
361. Final cleaning - construction - Commercial	400.05 SF
362. Seal/prime then paint the walls and ceiling twice (3 coats) - 2 colors	1,716.88 SF

Room 16

Height: 8' 9"

DESCRIPTION

QTY

363. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	472.91 SF
364. Paint door slab only - 2 coats (per side)	2.00 EA
365. Seal & paint casing - two coats	20.00 LF
366. Cove base molding - rubber or vinyl, 4" high	42.23 LF
367. Remove Glue down carpet	103.35 SF

CONTINUED - Room 16

DESCRIPTION	QTY
368. Glue down carpet 15 % waste added for Glue down carpet.	118.85 SF
369. Final cleaning - construction - Commercial	103.35 SF

Room 15

Height: 8' 9"

DESCRIPTION	QTY
370. 5/8" - drywall per LF - up to 2' tall	4.00 LF
371. Drywall - General Laborer - per hour	1.00 HR
<u>note drywall labor to blend in existing drywall</u>	
372. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	481.63 SF
373. Paint door slab only - 2 coats (per side)	2.00 EA
374. Seal & paint casing - two coats	20.00 LF
375. Cove base molding - rubber or vinyl, 4" high	43.17 LF
376. Remove Glue down carpet	103.92 SF
377. Glue down carpet 15 % waste added for Glue down carpet.	119.50 SF
378. Final cleaning - construction - Commercial	103.92 SF

Room 14

Height: 8' 9"

DESCRIPTION	QTY
379. 5/8" - drywall per LF - up to 2' tall	4.00 LF
380. Drywall - General Laborer - per hour	1.00 HR
<u>note drywall labor to blend in existing drywall</u>	
381. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	471.01 SF
382. Paint door slab only - 2 coats (per side)	2.00 EA
383. Seal & paint casing - two coats	20.00 LF
384. Cove base molding - rubber or vinyl, 4" high	42.50 LF
385. Remove Glue down carpet	99.14 SF
386. Glue down carpet 15 % waste added for Glue down carpet.	114.01 SF
387. Final cleaning - construction - Commercial	99.14 SF
388. Deodorize building - Ozone & hydroxyl treatment	867.47 CF

Room 12

Height: 8' 9"

DESCRIPTION	QTY
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CONTINUED - Room 12

DESCRIPTION	QTY
389. Acoustic ceiling tile	8.00 SF
390. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	478.97 SF
391. Paint door slab only - 2 coats (per side)	2.00 EA
392. Seal & paint casing - two coats	20.00 LF
393. Cove base molding - rubber or vinyl, 4" high	43.00 LF
394. Remove Glue down carpet	102.72 SF
395. Glue down carpet	118.13 SF
15 % waste added for Glue down carpet.	
396. Final cleaning - construction - Commercial	102.72 SF
397. Deodorize building - Ozone & hydroxyl treatment	898.82 CF

Room 9

Height: 8' 9"

Subroom: Room 9 (1)

Height: 8' 9"

DESCRIPTION	QTY
398. Acoustic ceiling tile	40.00 SF
399. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	1,423.78 SF
400. Paint door slab only - 2 coats (per side)	2.00 EA
401. Seal & paint casing - two coats	20.00 LF
402. Cove base molding - rubber or vinyl, 4" high	114.88 LF
403. Remove Glue down carpet	418.62 SF
404. Glue down carpet	481.41 SF
15 % waste added for Glue down carpet.	
405. Final cleaning - construction - Commercial	418.62 SF
406. Deodorize building - Ozone & hydroxyl treatment	3,662.91 CF

Lobby

Height: 8' 9"

DESCRIPTION	QTY
407. 5/8" - drywall per LF - up to 2' tall	8.00 LF
408. 5/8" - drywall per LF - up to 4' tall	26.00 LF
409. Drywall - General Laborer - per hour	2.00 HR
note drywall labor to blend in existing drywall	
410. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	1,084.42 SF
411. Paint door slab only - 2 coats (per side)	12.00 EA
412. Seal & paint casing - two coats	120.00 LF
413. Remove Glue down carpet	45.00 SF
414. Glue down carpet	51.75 SF
15 % waste added for Glue down carpet.	
415. Cove base molding - rubber or vinyl, 4" high	95.57 LF

CONTINUED - Lobby

DESCRIPTION	QTY
416. Final cleaning - construction - Commercial	338.86 SF
417. Deodorize building - Ozone & hydroxyl treatment	2,965.03 CF

DESCRIPTION	QTY	Height: 8'
Storage		
418. 5/8" - drywall per LF - up to 2' tall	4.00 LF	
419. Drywall - General Laborer - per hour	1.00 HR	
note drywall labor to blend in existing drywall		
420. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	93.08 SF	
421. Paint door slab only - 2 coats (per side)	2.00 EA	
422. Seal & paint casing - two coats	20.00 LF	
423. Cove base molding - rubber or vinyl, 4" high	10.83 LF	
424. Remove Glue down carpet	6.42 SF	
425. Glue down carpet	7.38 SF	
15 % waste added for Glue down carpet.		
426. Final cleaning - construction - Commercial	6.42 SF	
427. Deodorize building - Ozone & hydroxyl treatment	51.33 CF	

DESCRIPTION	QTY	Height: 8'
Room7		
428. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	13.93 SF	
429. Cove base molding - rubber or vinyl, 4" high	1.73 LF	
430. Remove Glue down carpet	0.12 SF	
431. Glue down carpet	0.14 SF	
15 % waste added for Glue down carpet.		
432. Final cleaning - construction - Commercial	0.12 SF	
433. Deodorize building - Ozone & hydroxyl treatment	1.00 CF	

DESCRIPTION	QTY	Height: 10' 8"	Height: 8' 9"
Stairs			
Subroom: Stairs1 (1)			
434. Cove base molding - rubber or vinyl, 4" high	13.48 LF		
435. Remove Glue down carpet	45.78 SF		
436. Glue down carpet	52.65 SF		
15 % waste added for Glue down carpet.			

CONTINUED - Stairs

DESCRIPTION	QTY
437. Final cleaning - construction - Commercial	45.78 SF
438. Deodorize building - Ozone & hydroxyl treatment	206.22 CF

Stairs2

Height: 10' 8"

DESCRIPTION	QTY
439. Cove base molding - rubber or vinyl, 4" high	4.40 LF
440. Remove Glue down carpet	22.31 SF
441. Glue down carpet	25.65 SF
15 % waste added for Glue down carpet.	
442. Final cleaning - construction - Commercial	22.31 SF
443. Deodorize building - Ozone & hydroxyl treatment	107.71 CF

Stage Room

Height: 10' 7"

Subroom: Stage (1)

Height: 10' 2"

DESCRIPTION	QTY
444. Acoustic ceiling tile	1,253.33 SF
445. 5/8" - drywall per LF - up to 2' tall	60.00 LF
446. Drywall - General Laborer - per hour	4.00 HR
note drywall labor to blend in existing drywall	
447. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	2,640.07 SF
448. Paint door slab only - 2 coats (per side)	6.00 EA
449. Seal & paint casing - two coats	80.00 LF
450. Cove base molding - rubber or vinyl, 4" high	142.10 LF
451. Remove Glue down carpet	1,253.33 SF
452. Glue down carpet	1,441.33 SF
15 % waste added for Glue down carpet.	
453. Final cleaning - construction - Commercial	1,253.33 SF
454. Deodorize building - Ozone & hydroxyl treatment	13,074.46 CF

Stairs6

Height: 10' 11"

DESCRIPTION	QTY
455. Cove base molding - rubber or vinyl, 4" high	5.42 LF
456. Remove Glue down carpet	50.05 SF
457. Glue down carpet	57.56 SF
15 % waste added for Glue down carpet.	

CONTINUED - Stairs6

DESCRIPTION	QTY
458. Final cleaning - construction - Commercial	50.05 SF
459. Deodorize building - Ozone & hydroxyl treatment	186.74 CF

Entry	Height: 8'
Subroom: Entry (1)	Height: 8'
DESCRIPTION	QTY
460. 5/8" drywall - hung, taped, heavy texture, ready for paint	72.15 SF
461. 5/8" - drywall per LF - up to 2' tall	10.00 LF
462. Drywall - General Laborer - per hour	4.00 HR
<u>note drywall labor to blend in existing drywall</u>	
463. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	302.15 SF
464. Cove base molding - rubber or vinyl, 4" high	27.25 LF
465. Remove Glue down carpet	72.15 SF
466. Glue down carpet	82.97 SF
15 % waste added for Glue down carpet.	
467. Final cleaning - construction - Commercial	72.15 SF
468. Deodorize building - Ozone & hydroxyl treatment	402.05 CF

Ramp	Height: 10' 11"
DESCRIPTION	QTY
469. 5/8" drywall - hung, taped, heavy texture, ready for paint	71.58 SF
470. Drywall - General Laborer - per hour	2.00 HR
<u>note drywall labor to blend in existing drywall</u>	
471. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	224.49 SF
472. Cove base molding - rubber or vinyl, 4" high	16.40 LF
473. Remove Glue down carpet	94.62 SF
474. Glue down carpet	108.81 SF
15 % waste added for Glue down carpet.	
475. Final cleaning - construction - Commercial	94.62 SF
476. Deodorize building - Ozone & hydroxyl treatment	473.44 CF

Void	Height: 4'
DESCRIPTION	QTY
477. Deodorize building - Ozone & hydroxyl treatment	100.56 CF
478. Seal/prime then paint the walls and ceiling twice (3 coats) - 2 colors	104.95 SF



Hallway 3

Height: 8' 9"

Subroom: Hallway 3 (1)

Height: 10' 11"

DESCRIPTION

QTY

479. R&R 5/8" drywall - hung & fire taped only	326.79 SF
480. 5/8" drywall - hung, taped, heavy texture, ready for paint	326.79 SF
481. 5/8" - drywall per LF - up to 2' tall	5.00 LF
482. Drywall - General Laborer - per hour	4.00 HR
note drywall labor to blend in existing drywall	
483. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	1,288.75 SF
484. Cove base molding - rubber or vinyl, 4" high	109.84 LF
485. Remove Glue down carpet	326.79 SF
486. Glue down carpet	375.80 SF
15 % waste added for Glue down carpet.	
487. Final cleaning - construction - Commercial	326.79 SF
488. Deodorize building - Ozone & hydroxyl treatment	3,260.97 CF

Ramp

Height: 8' 9"

DESCRIPTION

QTY

489. 5/8" drywall - hung, taped, heavy texture, ready for paint	168.70 SF
490. Drywall - General Laborer - per hour	2.00 HR
note drywall labor to blend in existing drywall	
491. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	547.36 SF
492. Cove base molding - rubber or vinyl, 4" high	47.81 LF
493. Remove Glue down carpet	179.71 SF
494. Glue down carpet	206.67 SF
15 % waste added for Glue down carpet.	
495. Final cleaning - construction - Commercial	179.71 SF
496. Deodorize building - Ozone & hydroxyl treatment	843.83 CF

Stairs4

Height: 8' 9"

DESCRIPTION

QTY

497. Cove base molding - rubber or vinyl, 4" high	7.31 LF
498. Remove Glue down carpet	31.34 SF
499. Glue down carpet	36.04 SF
15 % waste added for Glue down carpet.	
500. Final cleaning - construction - Commercial	31.34 SF
501. Deodorize building - Ozone & hydroxyl treatment	95.36 CF



Void	Height: 4'
DESCRIPTION	QTY
502. Deodorize building - Ozone & hydroxyl treatment	178.63 CF

Stairs7	Height: 10' 6"
DESCRIPTION	QTY
503. Cove base molding - rubber or vinyl, 4" high	2.03 LF
504. Remove Glue down carpet	21.58 SF
505. Glue down carpet	24.82 SF
15 % waste added for Glue down carpet.	
506. Final cleaning - construction - Commercial	21.58 SF
507. Deodorize building - Ozone & hydroxyl treatment	68.06 CF

Ramp	Height: 10' 6"
DESCRIPTION	QTY
508. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	125.34 SF
509. Cove base molding - rubber or vinyl, 4" high	9.56 LF
510. Remove Glue down carpet	45.84 SF
511. Glue down carpet	52.72 SF
15 % waste added for Glue down carpet.	
512. Final cleaning - construction - Commercial	45.84 SF
513. Deodorize building - Ozone & hydroxyl treatment	222.54 CF

Room 19	Height: Tray
Subroom: Room 19 (2)	Height: 8' 9"
Subroom: Room 19 (1)	Height: 8' 9"
Subroom: Room 19 (4)	Height: 8' 9"
Subroom: Room 19 (3)	Height: 8' 9"
DESCRIPTION	QTY
514. 5/8" - drywall per LF - up to 2' tall	8.00 LF
515. Drywall - General Laborer - per hour	1.00 HR
note drywall labor to blend in existing drywall	
516. Seal/prime then paint the walls and ceiling (2 coats) - 2 colors	1,011.07 SF
517. Paint door slab only - 2 coats (per side)	6.00 EA
518. Seal & paint casing - two coats	80.00 LF
519. Cove base molding - rubber or vinyl, 4" high	88.08 LF
520. Remove Glue down carpet	172.10 SF
521. Glue down carpet	197.91 SF
15 % waste added for Glue down carpet.	

CONTINUED - Room 19

DESCRIPTION	QTY
522. Final cleaning - construction - Commercial	205.10 SF
523. Deodorize building - Ozone & hydroxyl treatment	1,808.18 CF

Stairs8

Height: 8' 9"

DESCRIPTION	QTY
524. Cove base molding - rubber or vinyl, 4" high	6.67 LF
525. Remove Glue down carpet	12.00 SF
526. Glue down carpet	13.80 SF
15 % waste added for Glue down carpet.	
527. Final cleaning - construction - Commercial	12.00 SF
528. Deodorize building - Ozone & hydroxyl treatment	49.54 CF

Attic - Plenum Space

DESCRIPTION	QTY
-------------	-----

529. Final cleaning - construction - Commercial 11,721.50 SF

NOTE: The mitigation estimate did not indicate and damages or effort/details about the attic/plenum space, it is recommended that the attic and any associated appurtenance evaluated and inspected for any smoke damage and or water damage relating to the fire. A detail clean is recommended associated with the restoration.

Includes: Cleaning supplies and labor.

Excludes: Windows, sliding/patio glass doors. See CLN WD* and CLN PDOR* codes if warranted.

Quality: Removal of debris, wipe down surfaces, clean floor.

Green: LEED considers cleaners to be green under the following standards, or a local equivalent for projects outside of the U.S.: Green Seal GS-37, GS-40, GS -52/53; Environmental Choice CCD-110, CCD-112, CCD-113, CCD-115, CCD-146, CCD-147, CCD-148; EPA Design for the Environment Program's Standard for Safer Cleaning Products; California Code of Regulations maximum allowable VOC levels for the specific product category. Paper products and trash bags must meet one or more of the following programs or a local equivalent for projects outside the U.S.: EPA comprehensive procurement guidelines, for janitorial paper; Green Seal GS-01; Environmental Choice CCD-082, CCD-086; Janitorial paper products derived from rapidly renewable resources or manufactured from tree-free fibers; FSC certification, for fiber procurement; EPA comprehensive procurement guidelines, for plastic trash can liners (California Code of Regulations Title 14, Chapter 4, Article 5, or SABRC 42290-42297 Recycled Content Plastic Trash Bag Program).

Note: This is intended for minimal cleaning and debris removal within a facility upon completion of construction repairs prior to move in. This item is not intended to be used for remediation cleaning or for construction debris removal as a result of demolition. Measured per square foot of floor area; based on final cleaning of complete facility. This item is intended to cover a final clean-up in the affected area(s) from various construction trades and activities after all trades have completed their work. The labor supporting events within each line item are intended to be inclusive of the general clean up performed by each trade for that particular activity and are not representative of any final cleaning at the end of the job that typically include things like dusting, vacuuming,

CONTINUED - Attic

DESCRIPTION	QTY
sweeping/mopping, general wiping down of surfaces (e.g. doors, walls, fixtures, etc.) impacted by various construction activities. No life expectancy data	
530. Seal/prime then paint the ceiling (2 coats) Seal cleaned plenum space to ceiling after deodorization.	11,721.50 SF
531. Electrical (Bid Item) Electrical components effected by the fire and water suppression applied by the FS system and the fire department may have been damaged. Electrical inspection by Electrical Engineer recommended with a detailed bid from a qualified licensed Electrical contractor should follow.	1.00 EA
532. Heat, Vent, & Air Conditioning (Bid Item) Mechanical components effected by the fire and water suppression applied by the FS system and the fire department may have been damaged. Mechanical inspection by a Mechanical Engineer recommended with a detailed bid from a qualified licensed Mechanical contractor should follow.	1.00 EA
533. Insulation - Mechanical (Bid Item) Mechanical insulation at components effected by the fire and water suppression applied by the FS system and the fire department may have been damaged. Mechanical inspection by a Mechanical Engineer recommended with a detailed bid from a qualified licensed Mechanical contractor should follow.	1.00 EA

SKETCH2

Exterior Wall Repairs

Exterior Wall Repairs

DESCRIPTION	QTY
534. 2" x 4" x 8' #2 & better Fir / Larch (material only)	10.00 EA
535. 2" x 6" x 8' #2 & better Fir / Larch (material only)	12.00 EA
536. 2" x 6" x 92 5/8" pre-cut stud (for 8' wall, mat only)	26.00 EA
537. 2" x 4" x 92 5/8" pre-cut stud (for 8' wall, mat only)	2.00 EA
538. R&R Sheathing - plywood - 5/8" - treated	222.56 SF
539. R&R Labor to frame 2" x 6" non-bearing wall - 16" oc	91.17 SF
540. R&R Labor to frame 2" x 6" load bearing wall - 16" oc	76.08 SF
541. R&R Labor to frame 2" x 4" load bearing wall - 16" oc	64.67 SF
542. R&R House wrap (air/moisture barrier)	675.34 SF
543. Stucco - expansion joint (metal or plastic)	50.00 LF
544. R&R Synthetic stucco on 2" polystyrene board - Water managed	675.34 SF
545. Stucco - General Laborer - per hour	15.00 HR
546. Temporary shoring post - Screw jack (per day)	15.00 DA
547. Framing & Rough Carpentry Shoring	15.00 EA
548. Steel 4x10 SEL STR DF Beam	1.00 EA
549. Steel 4x16 SEL STR DF Beam	1.00 EA
550. Painter - per hour	65.00 HR

CONTINUED - Exterior Wall Repairs

DESCRIPTION	QTY
Seal framing, paint trim, match stucco paint, paint siding, fascia and soffit to match. Includes up to 15 gal paint and associated materials to perform paint to damaged wall area at burn.	

Roof Repairs

Roof Repairs

DESCRIPTION	QTY
551. 2" x 8" x 8' #2 & better Fir / Larch (material only)	1.00 EA
552. 2" x 6" x 14' #2 & better Fir / Larch (material only)	1.00 EA
553. 2" x 6" x 8' #2 & better Fir / Larch (material only)	2.00 EA
554. R&R Rafters - 2x8 - Labor only - (using rafter length)	47.85 LF
555. R&R Rafters - 2x6 - Labor only - (using rafter length)	24.63 LF
556. R&R Sheathing - OSB - 1/2"	96.00 SF
557. R&R Mono truss - 12/12 slope	159.16 LF
558. R&R Sheathing - plywood - 5/8" - treated	211.97 SF
559. 2" x 4" x 18' #2 & better Fir / Larch (material only)	2.00 EA
560. 2" x 4" x 8' #2 & better Fir / Larch (material only)	11.00 EA
561. 2" x 4" x 92 5/8" pre-cut stud (for 8' wall, mat only)	11.00 EA
562. 2" x 8" x 8' #2 & better Fir / Larch (material only)	8.00 EA
563. R&R Labor to frame 2" x 4" non-bearing wall - 16" oc	104.47 SF
564. R&R Sheathing - radiant barrier - 5/8" - OSB	211.97 SF
565. R&R Sheathing - OSB - 1/2"	104.47 SF
566. R&R House wrap (air/moisture barrier)	211.97 SF
567. R&R Synthetic stucco on 2" polystyrene board - Water managed	325.00 SF
568. Tear off tile roofing (no haul off)	250.00 SF
569. Tile roofing - Clay - Barrel (mission) tile	5.00 SQ
570. TPO Patch	5.00 SQ
Add Patch to front corner where Mansards connect and also behind Mansard Roof to the extent directed by the engineered drawings.	
571. Carpenter - General Framer - per hour	25.00 HR

Labor Minimums Applied

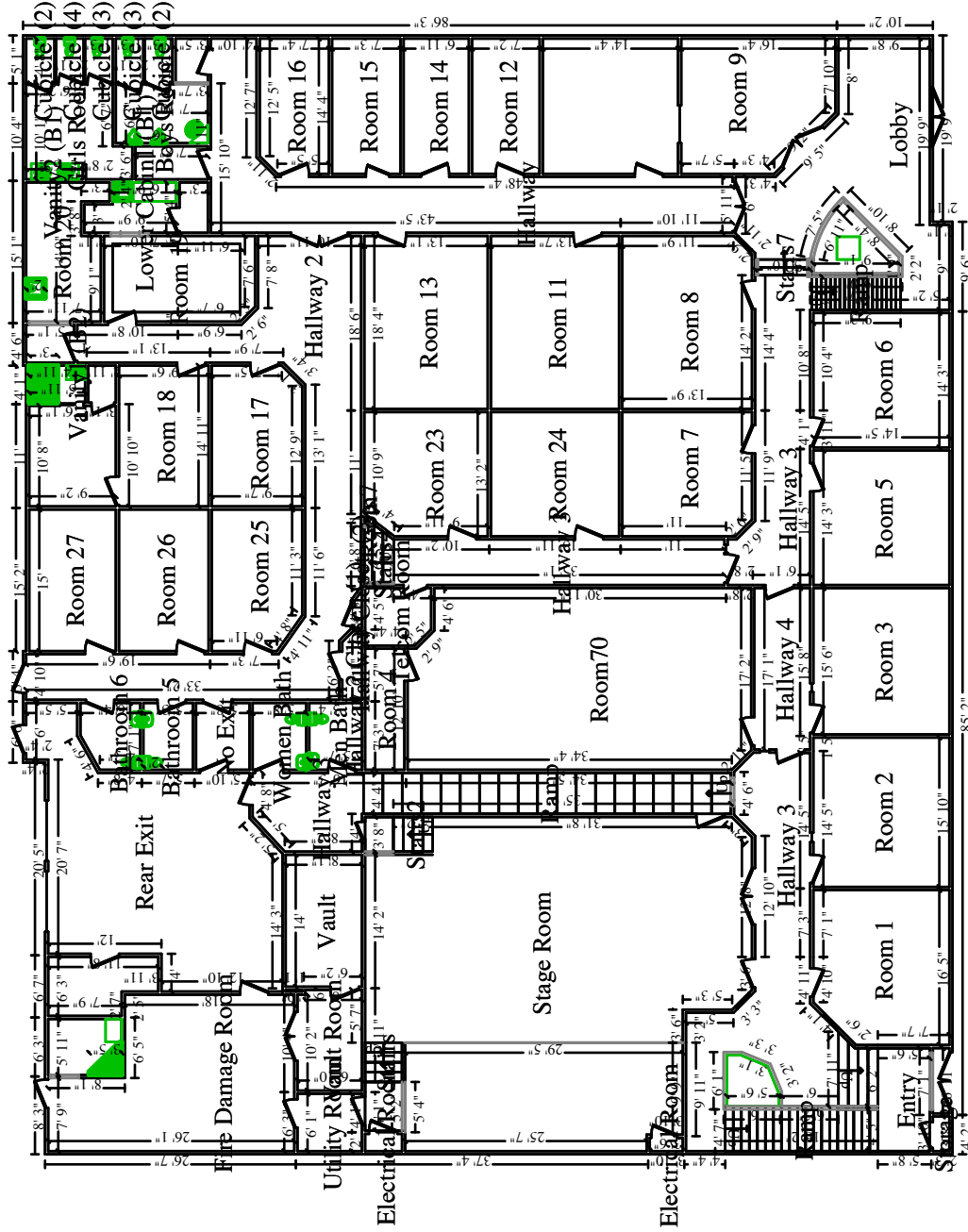
DESCRIPTION	QTY
572. Hazardous waste/mold rem. labor min	1.00 EA
573. Water extract/remediation labor minimum	1.00 EA
574. Insulation labor minimum	1.00 EA

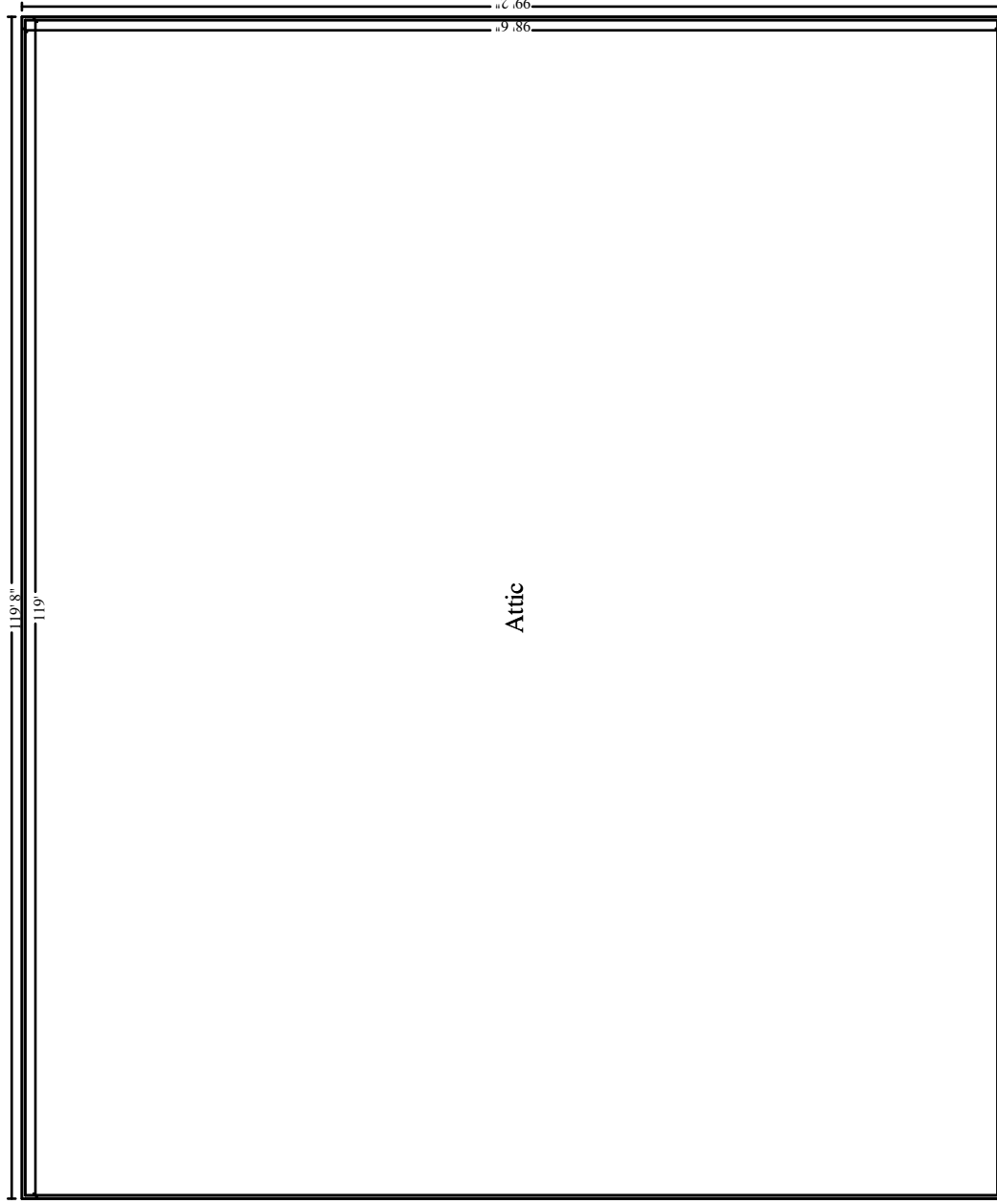
Grand Total \$498,160.40

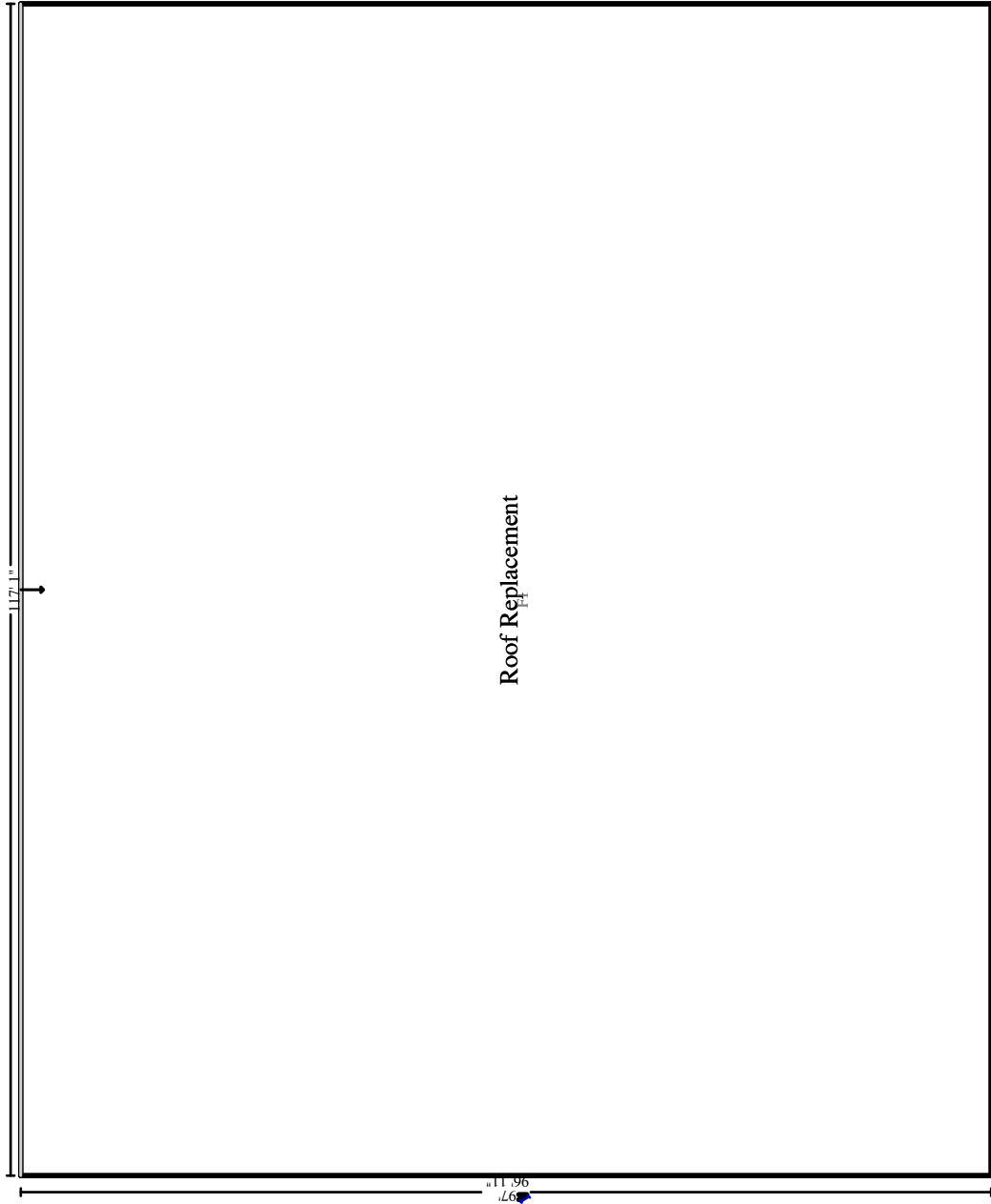
Danny Duran
Senior Consultant

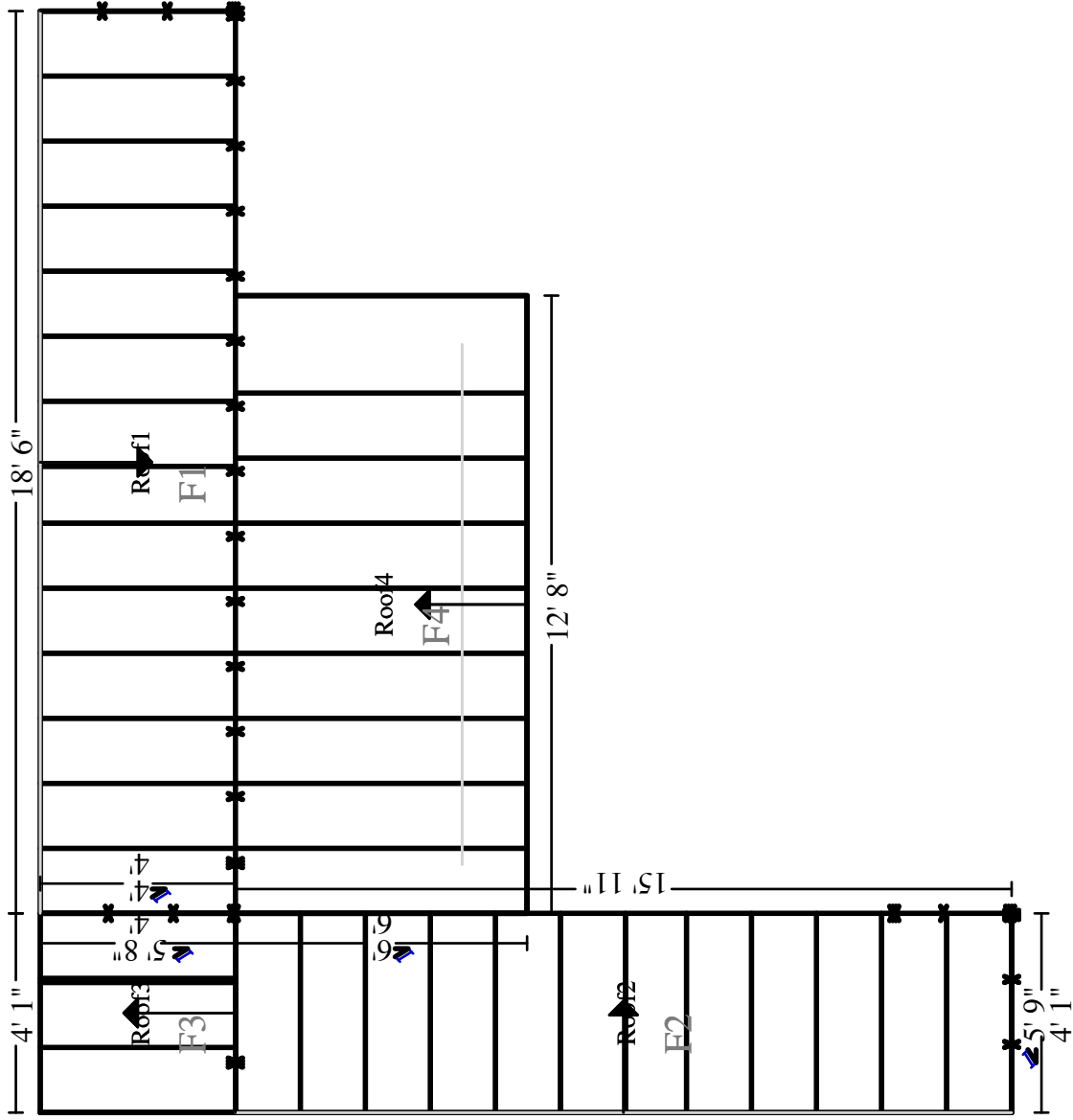
Grand Total Areas:

32,309.12 SF Walls	22,851.41 SF Ceiling	55,160.53 SF Walls and Ceiling
22,945.89 SF Floor	2,549.54 SY Flooring	3,938.94 LF Floor Perimeter
0.00 SF Long Wall	0.00 SF Short Wall	4,030.79 LF Ceil. Perimeter
22,945.89 Floor Area	23,672.82 Total Area	29,895.57 Interior Wall Area
8,340.77 Exterior Wall Area	925.60 Exterior Perimeter of Walls	
11,644.68 Surface Area	116.45 Number of Squares	555.48 Total Perimeter Length
0.00 Total Ridge Length	0.00 Total Hip Length	









East Kern Health Care District Structural Repair of Fire Damage

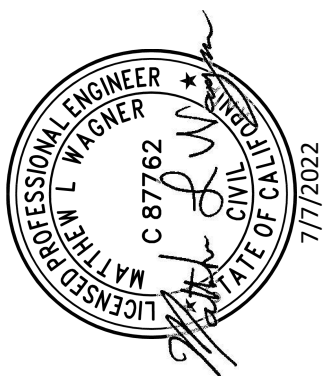


Walter P Moore and Associates, Inc.
203 North LaSalle Street, Suite 2100
Chicago, IL 60601

312.260.2900

Project Name:
**East Kern Health
Care District**

Client:
8051 - 8101 Bay Ave.
California City, CA 93505

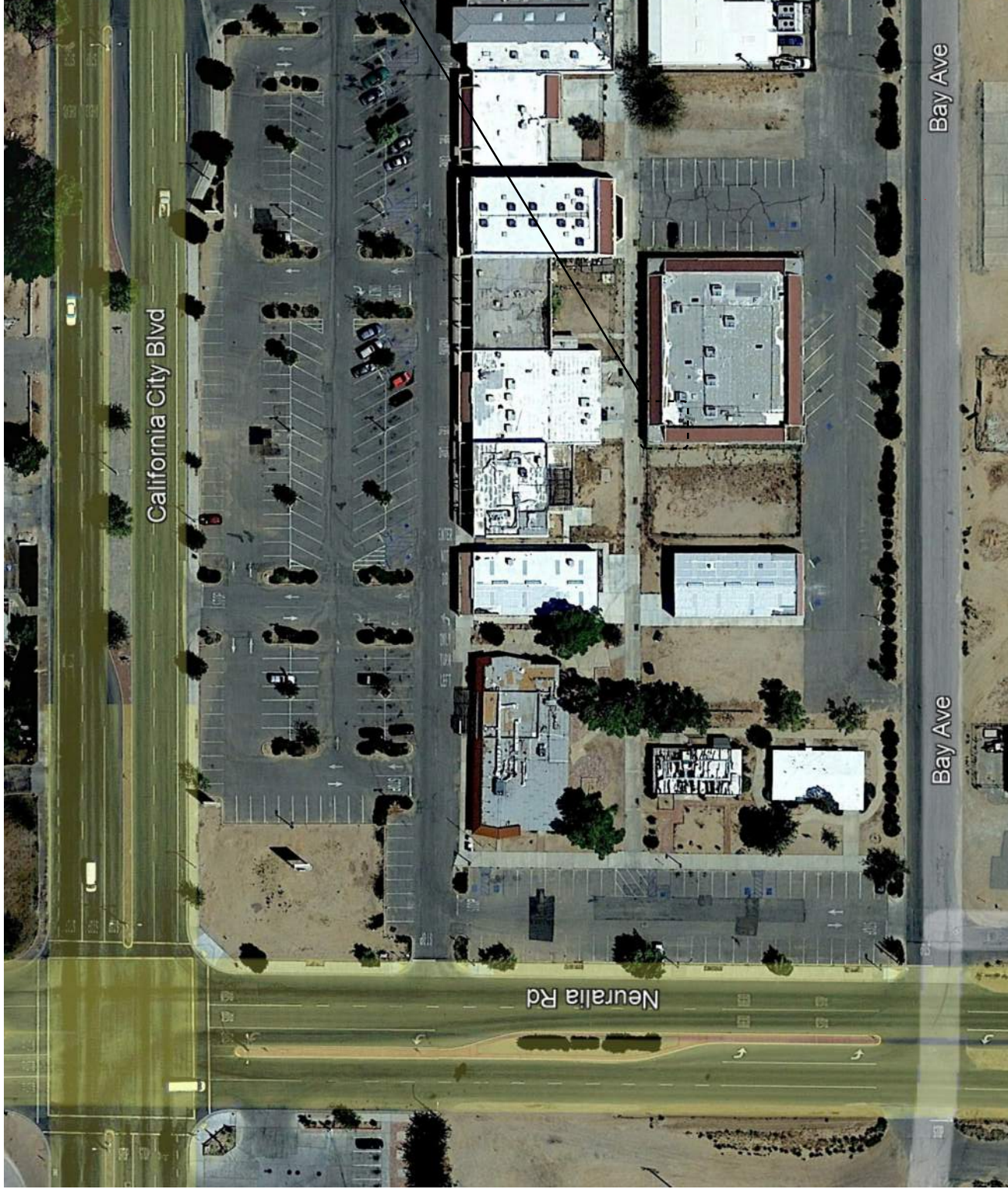


No.	Date	Description
	7-7-22	PERMIT/CONST.

Designed by: MLW
Approved by: MLW
Drawn by: MLW
Project Number: D24-22005.00
Date: 7-7-22
Sheet Title:

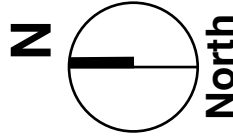
COVER SHEET

Sheet Title:
CVR 47



REPAIR LOCATION
IN NORTHWESTERN
CORNER

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SHEET	TITLE
S0.1	GENERAL NOTES
S0.2	GENERAL NOTES
S1.0	PLANS AND ELEVATION
S2.0	SECTION



SITE MAP



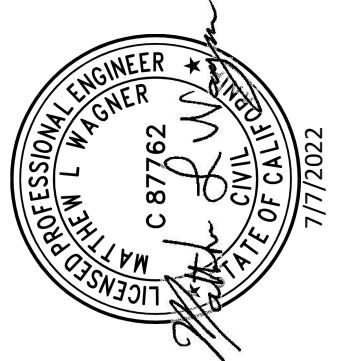
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No.	Date	Description
7-7-22	7-7-22	PERMIT/CONST.

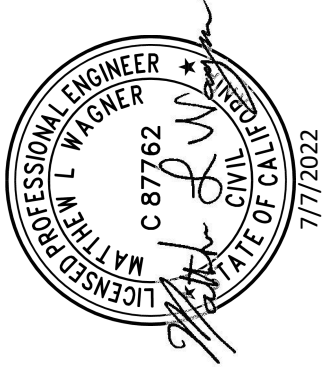
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Approved by: MLW
Drawn by: MLW
Project Number: D24-22005.00
Date: 7-7-22
Sheet Title:

GENERAL NOTES

Sheet Title:
S0.1
48

GENERAL NOTES

<p>I. DESIGN CRITERIA</p> <p>A. GENERAL BUILDING CODE</p> <ol style="list-style-type: none"> THE STRUCTURAL DRAWINGS ARE INTENDED TO PROVIDE FOR STRUCTURAL DESIGN OF THE BUILDING REPAIRS IN ACCORDANCE WITH THE 2019 CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 10. EXISTING BUILDING INFORMATION: <ol style="list-style-type: none"> NUMBER OF BUILDINGS: 1 BUILDING YEAR BUILT: 1971 BUILDING <ol style="list-style-type: none"> HEIGHT: 12+ FEET LEVELS: 1 STORY <p>B. DEAD LOADS</p> <ol style="list-style-type: none"> HANGING CEILING AND MECHANICAL LOADS: AN ALLOWANCE OF 5 PSF HAS BEEN ASSUMED FOR HANGING CEILING AND MECHANICAL EQUIPMENT LOADS SUCH AS DUCT WORK AND SPRINKLER PIPES. ROOF DEAD LOADS: THE DESIGN DEAD LOAD FOR THE ROOF PROVIDES FOR THE WEIGHT OF ONE ADDITIONAL ROOF COVERING. LIVE LOADS <ol style="list-style-type: none"> DESIGN LIVE LOADS ARE BASED ON THE MORE RESTRICTIVE OF THE UNIFORM LOAD LISTED BELOW OR THE CONCENTRATED LOAD LISTED ACTING OVER AN AREA 2.5 FEET SQUARE. <ol style="list-style-type: none"> ROOFS SUBJECT TO MAINTENANCE WORKERS: 20 PSF, 300 LBS REDUCTION OF LIVE LOADS: <ol style="list-style-type: none"> NO LIVE LOAD REDUCTION HAS BEEN ASSUMED FOR THE REPAIR DESIGN. LATERAL LOADS <ol style="list-style-type: none"> THE REPAIR DOES NOT INVOLVE THE REPAIR OF THE LATERAL FORCE RESISTING SYSTEM AND THEREFORE THERE WAS NO LATERAL REQUIREMENTS FOR THIS REPAIR. <p>II. SCOPE OF WORK</p> <p>A. SCOPE OF WORK INCLUDES THE DRAWINGS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING CONDITIONS PROVIDED BY OWNER.</p> <p>B. REPAIR SCOPE IS LIMITED TO THE STRUCTURAL FIRE DAMAGE IN THE NORTHWEST CORNER OF THE PROPERTY. SCOPE INCLUDES THE REMOVAL OF DAMAGED WALL, ROOF AND MANSARD WOOD FRAMING AND REPLACING WITH LIKE AND KIND MATERIALS WITH CONNECTIONS OR FASTENING OF THE NEW REPLACEMENT MATERIALS PER THE CURRENT CODE REQUIREMENTS IF NOT SPECIFICALLY SPECIFIED WITH IN THE DRAWINGS. THE SCOPE DOES NOT INCLUDE THE ARCHITECTURAL REQUIREMENTS FOR ROOFING OR WALL ENCLOSURE.</p> <p>C. CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR, TOOLS, SUPPLIES, PERMITS, EQUIPMENT, TRANSPORTATION, SUPERINTENDENCE, BARRICADES, SHORING, BRACING, TEMPORARY CONSTRUCTION OF EVERY NATURE, INSURANCE, TAXES, CONTRIBUTIONS AND ALL SERVICES AND FACILITIES, UNLESS SPECIFICALLY EXCEPTED AND INSTALL/REMOVE ALL MATERIALS, ITEMS, AND EQUIPMENT REQUIRED TO COMPLETE THE STRUCTURAL REPAIR PROJECT, AS SET FORTH IN THE CONTRACT DOCUMENTS.</p> <p>D. COOPERATE WITH THE OWNER'S REPRESENTATIVE IN ALL CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICT AND TO FACILITATE OWNER USAGE.</p> <p>E. CONTRACTOR ACKNOWLEDGES BY SUBMITTING A BID OR PROPOSAL TO PERFORM THE SPECIFIED WORK, THAT THEY HAVE VISITED AND INSPECTED THE PROJECT SITE IN WHICH THE WORK IS TO BE PERFORMED, THAT THEY HAVE SATISFIED THEMSELVES AS TO THE NATURE AND LOCATION OF THE WORK, INCLUDING ANY OBSTRUCTIONS, AMOUNT OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK, AND ALL OTHER MATTERS WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT.</p> <p>F. FAILURE BY CONTRACTOR TO HAVE ACQUAINTED HIMSELF WITH AVAILABLE INFORMATION CONCERNING SITE CONDITIONS, INCLUDING FACTORS AFFECTING COSTS AND LIABILITIES, SHALL NOT RELIEVE CONTRACTOR OF RESPONSIBILITY FOR PERFORMANCE OF WORK IN ACCORDANCE WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS, AND FOR AMOUNT OF CONSIDERATION NAMED OR OTHERWISE DETERMINED.</p> <p>G. WHEN CONTRACTOR ENCOUNTERS A CONDITION REQUIRING FURTHER INFORMATION OR A CLARIFICATION, CONTRACTOR SHALL SUBMIT TO ENGINEER A WRITTEN REQUEST FOR INFORMATION (R.F.I.) NUMBERED SEQUENTIALLY. ENGINEER WILL RESPOND IN WRITING TO ALL R.F.I.'S.</p>	<p>III. SELECTIVE DEMOLITION</p> <p>A. RESPONSIBILITY OF THE CONTRACTOR FOR STABILITY OF THE STRUCTURE DURING DECONSTRUCTION /DEMOLITION</p> <ol style="list-style-type: none"> IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL REQUIRED BRACING DURING DEMOLITION TO MAINTAIN THE STABILITY AND SAFETY OF ALL STRUCTURAL ELEMENTS DURING THE DEMOLITION PROCESS. CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER TO SURVEY CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE DEMOLITION OPERATIONS. <p>B. DEFINITIONS</p> <ol style="list-style-type: none"> REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED. REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND DELIVER THEM TO OWNER READY FOR REUSE. OWNER TO IDENTIFY ITEMS TO BE REUSED OR SALVAGED. EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED. <p>C. MATERIAL OWNERSHIP</p> <ol style="list-style-type: none"> EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, DEMOLISHED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE. THE MATERIALS REMOVED SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER PER FEDERAL, STATE AND LOCAL REGULATIONS. <p>D. PREPARATION</p> <ol style="list-style-type: none"> CONTRACTOR SHALL MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES. FIRE ALARMS AND SMOKE DETECTION SYSTEM SHALL REMAIN OPERATIONAL AT ALL TIMES. PROTECT SMOKE DETECTORS AS REQUIRED AND IN CONFORMANCE TO LOCAL CODES, REGULATIONS, AND LOCAL AUTHORITIES HAVING JURISDICTION. TEMPORARY FACILITIES: PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. <ol style="list-style-type: none"> PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT FACILITIES. CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL AND PEDESTRIAN CONTROL MEASURES AS REQUIRED. CONTRACTOR SHALL COORDINATE WITH OWNER IF ANY REMOVAL OF LANDSCAPE IS REQUIRED. TEMPORARY PARTITIONS: ERCT AND MAINTAIN DUSTPROOF PARTITIONS AND TEMPORARY ENCLOSURES TO LIMIT DUST AND DIRT MIGRATION AND TO SEPARATE AREAS FROM FUMES AND NOISE. TEMPORARY SHORING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD TEMPORARY SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION. <p>E. POLLUTION CONTROLS</p> <ol style="list-style-type: none"> CONDUCT DEMOLITION WASTE DISPOSAL OPERATIONS IN COMPLIANCE WITH LOCAL LAWS AND ORDINANCES. COMPLY FULLY WITH FEDERAL AND LOCAL ENVIRONMENTAL AND ANTI-POLLUTION REGULATIONS. <p>F. EXECUTION OF SELECTIVE DEMOLITION</p> <ol style="list-style-type: none"> GENERAL: DEMOLISH EXISTING CONSTRUCTION AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS: <ol style="list-style-type: none"> USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE. LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, SLABS, OR FRAMING. DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. 	<ol style="list-style-type: none"> EXISTING FACILITIES: COMPLY WITH OWNER'S REQUIREMENTS FOR USING AND PROTECTING OTHER BUILDING FACILITIES DURING SELECTIVE DEMOLITION OPERATIONS. REMOVED AND SALVAGED ITEMS: COMPLY WITH THE FOLLOWING: <ol style="list-style-type: none"> CLEAN SALVAGED ITEMS. STORE ITEMS IN A SECURE AREA UNTIL DELIVERY TO OWNER. TRANSPORT ITEMS TO OWNER'S STORAGE AREA AS DESIGNATED BY OWNER. EXISTING ITEMS TO REMAIN: CONTRACTOR TO COORDINATE WITH OWNER (PRIOR TO BEGINNING WORK) ON ITEMS THAT ARE TO REMAIN AND HENCE BE PROTECTED DURING THE DEMOLITION PROCESS. WHEN PERMITTED BY OWNER, ITEMS MAY BE REMOVED TO A SUITABLE AND/OR PROTECTED LOCATION. <p>G. DISPOSAL OF WASTE AND DEMOLISHED MATERIALS</p> <ol style="list-style-type: none"> PROVIDE A PLAN FOR THE COLLECTION AND DISPOSAL OF WASTE MATERIALS ON THE SITE. DESIGNATE LOCATIONS FOR TRASH AND WASTE RECEPTACLES AND ESTABLISH A COLLECTION SCHEDULE. SPECIFY AND CARRY OUT METHODS FOR ULTIMATE DISPOSAL OF WASTE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL HEALTH AND SAFETY REGULATIONS. MAKE SPECIAL PROVISIONS FOR THE COLLECTION AND DISPOSAL OF LIQUID WASTES AND TOXIC OR HAZARDOUS MATERIALS. GENERAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. BURNING: DO NOT BURN DEMOLISHED MATERIALS. KEEP RECEPTACLES AND OTHER WASTE COLLECTION AREAS NEAT AND ORDERLY. DO NOT ALLOW WASTE TO OVERFLOW ITS CONTAINER OR ACCUMULATE FOR EXCESSIVELY LONG PERIODS OF TIME. LOCATE TRASH COLLECTION POINTS WHERE THEY WILL LEAST LIKELY BE AFFECTED BY STORM WATER RUNOFF. DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. <p>IV. LIGHT FRAME WOOD FRAMING</p> <p>A. MATERIAL</p> <ol style="list-style-type: none"> TREATED SAWN LUMBER: ALL SAWN LUMBER EXPOSED TO LIQUID WATER OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) APPROVED UC3B GRADE PRESSURE TREATED UNLESS NOTED OTHERWISE. LUMBER IN CONTACT WITH GROUND OR FRESH WATER SHALL BE AWPA APPROVED UC4A GRADE PRESSURE TREATED. SAWN LUMBER SPECIES AND GRADE: ALL SAWN LUMBER NOTED IN THIS PLAN SET SHALL BE STRUCTURAL SELECT DOUGLAS FIR. ALL LUMBER SHALL BE LESS THAN 19% MOISTURE CONTENT FOR ALL CONSTRUCTION. LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MINIMUM BENDING STRESS ("FB") OF 2600 PSI, A MINIMUM ALLOWABLE SHEAR STRESS ("FV") OF 285PSI, AND A MODULUS OF ELASTICITY ("E") OF 2,000KSI. ROOF SHEATHING SHALL BE EXTERIOR GRADE, EXPOSURE I, C/D, STRUCTURAL GROUP II OR BETTER. WOOD STRUCTURAL PANELS SHALL BE POSITIONED WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS. STAGGER END JOINTS 4'-0". ROOF AND WALL SHEATHING: ALL ROOF SHEATHING SHALL BE APA 40/20 SPAN RATING, 19/32" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. ALL WOOD STRUCTURAL MATERIALS SHALL BE MARKED BY A GRADING AGENCY RECOGNIZED BY THE AMERICAN FOREST & PAPER ASSOCIATION. MARKINGS SHOULD SHOW GRADE, SPECIES, MANUFACTURER, AND MOISTURE CONTENT, AND SHALL MEET THE REQUIREMENTS OF PRODUCT STANDARD PS-1. <p>B. FASTENERS AND CONNECTIONS</p> <ol style="list-style-type: none"> ALL NAILING NOT INDICATED ON THE DRAWINGS SHALL BE AS SPECIFIED IN IBC TABLE 2304.10.1. ALL FASTENERS USED OUTSIDE OF ANY WATERPROOFING MEMBRANE SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION AND MEET EITHER ASTM A123 OR ASTM A153 OR SHALL BE STAINLESS STEEL AND MEET ASTM A167. MECHANICALLY GALVANIZED FASTENERS ARE NOT ALLOWED IN TREATED LUMBER. 	<ol style="list-style-type: none"> ANY REACTIONS NOTED ON THE PLANS ARE BASED ON SERVICE LOADS AND ARE INTENDED FOR USE WITH THE ALLOWABLE STRESS DESIGN METHOD. BOLT HOLES THROUGH WOOD SHALL BE 1/16" GREATER THAN SPECIFIED BOLT SIZE. NAILING INSTALLATION AND MATERIALS SHALL COMPLY WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2015 EDITION)." ALL NAIL SIZES ON THESE PLANS REFER TO COMMON NAILS, UNLESS NOTED OTHERWISE. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NAILS HAVE A SHANK DIAMETER EQUAL TO OR GREATER THAN THE SPECIFIED COMMON NAIL SIZE. ALL SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED IN ACCORDANCE TO IBC 2301.11 SILL PLATES SHALL BE BOLTED TO EXISTING FOUNDATIONS ANCHORS. ALL METAL HARDWARE FOR FASTENING WOOD LUMBER SHALL BE MANUFACTURED BY THE MANUFACTURER SPECIFIED ON THE PLANS. ALTERNATES SHALL BE APPROVED BY THE EOR PRIOR TO SUPPLY AND INSTALLATION. USE SIMPSON FULL-DEPTH HU HANGER (MAX-FILL ALL HOLES INCLUDING TRINGLE HOLES FOR BEAM-TO-BEAM CONNECTIONS, U.N.O. USE FULL-DEPTH SIMPSON U HANGER AT 2X ROOF JOIST TO BEAM, U.N.O. ALL METAL HARDWARE SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OTHERWISE. NAIL WALL AND ROOF SHEATHING TO SUPPORT MEMBERS WITH 8D NAILS AT 6" ON CENTER AT EDGES AND 8D NAILS AT 12" ON CENTER IN FIELD, UNLESS NOTED OTHERWISE. <p>C. INCISING</p> <ol style="list-style-type: none"> INCISING OR NOTCHING OF STRUCTURAL LUMBER TO ALTER MEMBER CURVATURE OR TO STRAIGHTEN MEMBER IS PROHIBITED EXCEPT WHERE DIRECTED BY THE ENGINEER OF RECORD. <p>V. REPRODUCTION</p> <p>A. THE USE OF ELECTRONIC FILES OR REPRODUCTIONS OF THESE CONTRACT DOCUMENTS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES THEIR ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATES THEMSELVES TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON.</p> <p>VI. MISCELLANEOUS</p> <p>A. CONTRACT DOCUMENTS</p> <ol style="list-style-type: none"> IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL CONTRACT DOCUMENTS AND LATEST ADDENDA AND TO SUBMIT SUCH DOCUMENTS TO ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS. FABRICATION OF ANY STRUCTURAL MEMBERS, AND ERECTION IN THE FIELD. THE CONTRACTOR SHALL FULLY AND PROPERLY IMPLEMENT THE ENGINEERING CONTROLS, WORK PRACTICES, AND RESPIRATORY PROTECTION AGAINST TOXIC AND HAZARDOUS SUBSTANCES INCLUDING RESPIRABLE CRYSTALLINE SILICA ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) 29 CFR 1926.1153. WALTER P MOORE DOES NOT HAVE CONTROL OVER, CHARGE OF, OR RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. NOR SHALL WALTER P MOORE BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACT STRUCTURAL DRAWINGS REPRESENT THE REPAIRED STRUCTURE, AND, EXCEPT WHERE SPECIFICALLY SHOWN, DO NOT INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCES.
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No.	Date	Description
7-7-22	7-7-22	PERMIT/CONST.

Designed by: MLW

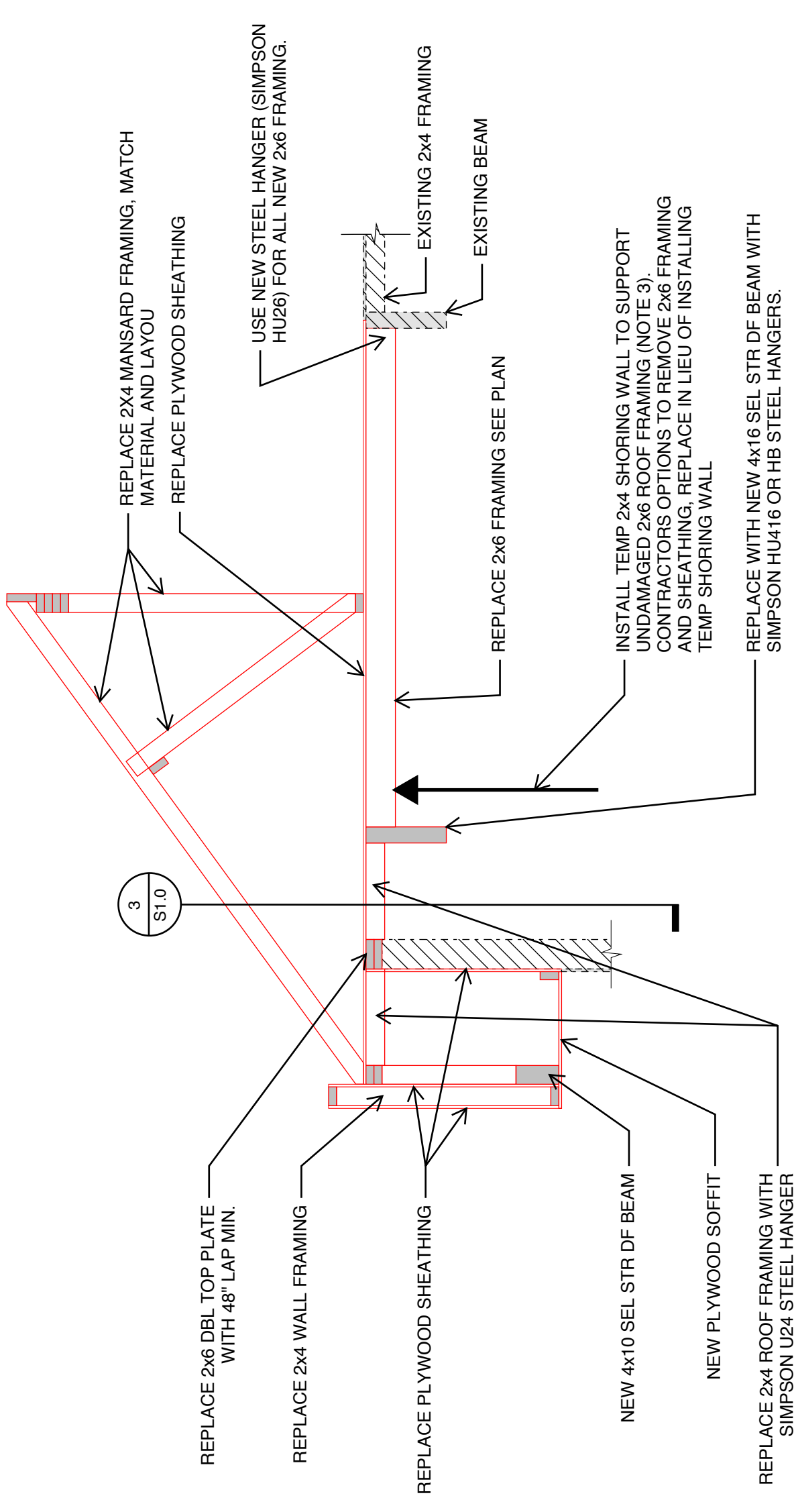
Approved by: MLW

Drawn by: MLW

Project Number: D24-22005.00

Date: 7-07-22

Sheet Title:



NOTES:

1. ALL MATERIALS TO MATCH EXISTING UNO
2. CONNECTION OF NEW MEMBERS WALL AND ROOF ARE TO MATCH CURRENT CODE REQUIREMENTS UNO.
3. SHORING SHALL CONSIST OF TEMP STUD WALL WITH 2x4 STUD UNDER EACH ROOF MEMBER (24"oc), SINGLE 2x4 TOP AND BOTTOM PLATE AND SINGLE 2x4 DIAGONAL CROSS BRACE. FASTEN TOP AND BOTTOM 2x4 PLATES AND CROSS BRACE PER IBC TABLE 2304.10.1.

SECTION

1 SECTION

1/2" = 1'-0"

Sheet Title:

S2.0

JOSELITO M. LACSON, Designer

02 July 2022

Ms. Karen Macedonio
Director – East Kern Health Care District
8101 Bay Ave.
California City, CA 93505

Attn Karen:

I am pleased to submit the proposal for the covered porch addition project to be located at 9350 N Loop in California City, CA.

- Existing one-story health care office interior space shall remain as is and not part of this contract.

Please review scope of services and fees for this project:

- **Task 1** - Architectural Plans for covered porch only – (Planning Dept., Bldg. & Safety and Fire Dept. Submittal for Permit)
 - Site Plan and Title Sheet
 - Cal Green General Notes
 - Demolition Floor Plan
 - Reconstruction Floor Plan
 - Reflected Ceiling Plan
 - Building Section

Total fixed fee - \$3,200.00

This fee does not include structural/civil engineering and calculations.
This proposal is effective for thirty (30) days.

SCOPE OF WORK:

1. Architectural plans required for Planning, Building and Safety and Fire department submittal for review and approval.
2. Plan check corrections required by Planning, Building and Safety and Fire department prior to issuance of building permit.

JOSELITO M. LACSON, Designer

PAYMENT SCHEDULE (Task 1):

- \$ 1,200.00 – Retainer fee due upon approval of contract
- \$ 1,700.00 – Upon initial submittal of plans to Planning Dept. and Bldg. & Safety
- \$ 300.00 – Upon approval of plans from Planning Dept. and Bldg. & Safety

▪ Task 2 – Bidding and Construction Phase Services

- Assist during bidding phase between owner and contractor
- Respond to RFI during bid time and construction duration
- Review contractor's submittals
- Field visit during construction as requested by owner or contractor
- Final walk through and punch list at the end of the project
- Invoice shall be billed to client on a bi-weekly basis (1st & 15th of every month)

*Task 2 -
separate
agreement*

Fee for (Task 2) - shall be time and material at \$125/ Hr. (Not to exceed 10 hours)

- Task 2 is estimated at 10 hours. If more hours are required prior to completion of work, Designer shall submit an addendum to this contract for board approval prior to proceeding with any work.

Fee is based on lease agreement requirement between East Kern Health Care and Adventist Health as indicated by Karen Macedonio, Director and as agreed upon during a zoom meeting with Karen Macedonio, Jim Didion (Adventist Health) and Joselito Lacson held on July 1, 2022.

An hourly rate of one hundred dollars (\$125.00) will be charged for major changes made by the owner after plans have been submitted to Bldg. and Safety for plan check approval.

Fee does not include soils report that the building department may require. **Structural plans** required for permit processing will be ***under separate contract***.

All original architectural drawings used for this project remain at all times the property of East Kern Health Care District and will be provided the final approved plans in PDF format. Additional copies of plans are available at clients' request and will be billed at cost. All reimbursable expenses will be billed bi-monthly

JOSELITO M. LACSON, Designer

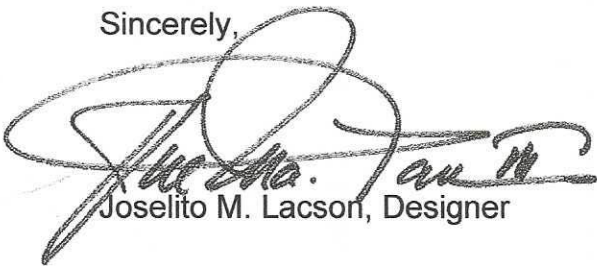
All fees required to process plans with Bldg. & Safety and other agencies will be the responsibility of the client.

Payments are due within fifteen (15) days of invoice date. After thirty days, designer may suspend services under this contract until invoice is paid in full.

Upon your approval, please return signed copy with retainer fee.

I look forward to doing business with you.

Sincerely,



Joselito M. Lacson, Designer

Accepted and acknowledged:

East Kern Health Care District
Karen h. Macedonio, President 07/12/2022
Client, Print and sign Date

Karen h. Macedonio, President

Task 1 - verified and signed
Task 2 - separate agreement



**California Special
Districts Association**
Districts Stronger Together

LEGISLATIVE TEAM

Rosario Cortés Kapeller
rosariok@csda.net
Senior Legislative Representative

Policy Areas

- Environment and Disaster Preparedness
- Infrastructure and Community Development

District Services

- Energy and Emissions
- Parks and Resources
- Transportation
- Water and Wastewater

Aaron Avery
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Legislative Representative

Policy Areas

- Contracting
- Human Resources and Personnel

District Services

- Health and Safety

Marcus Detwiler
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Associate Legislative Representative

Policy Areas

- Governance
- Local Revenue

District Services

- Community Enrichment

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